# **FALLBROOK** REGIONAL HEALTH

# BUILDING IMPROVEMENT

# 1649 E MISSION RD. FALLBROOK, CA 92808

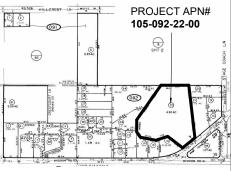
## **STORM WATER QUALITY NOTES:**

CONTRACTOR AND PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NUMBER 2001-01, NODES NUMBER CASD108758.
THE FOLLOWING SIX NOTES REPRESENT THE KEY MINIMUM REQUIREMENTS FOR

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS, DUE TO CONSTRUCTION VEHICLES OR ANY OTHER KIND OF CONSTRUCTION ACTIVITY AT THE END OF EACH DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED BMPS WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREETS. A STABILIZED CONSTRUCTION MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREETS.
- ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A GREATER PERIOD THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 40%.

# THE STORAGE OF ALL CONSTRUCTION MATERIAL AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

#### PARCEL MAP:



# **VICINITY MAP:** PROJECT SITE

# encinitas TODD W. KUHLMAN C-33109

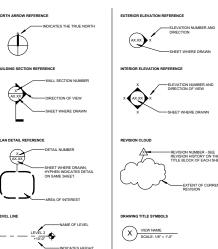
**ABBREVIATIONS:** INSIDE DIAMETER (DIM.)
INSULATION
INTERIOR
JANITOR
JOINT
KITCHEN
LABORATORY
LAMINATE
LAVATORY
LOCKER
LIGHT
MAYMIJIM ALUMINUM
ALUMINUM
ALUMINUM
APPROXIMATE
ARCHITECTURAL
ASBESTOS
ASPHALT
BOARD
BITUMINUS
BEAM
BOTTOM
CABINET
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CON NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVER OVERALL OBSCURE OBSCURE
ON CENTER
OUTSIDE DIAMETER (DIM.)
OFFICE
OPENING
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PARTINO
OWNER
RISER
RISER
RISER
RADIUS RISER
RADIUS
ROOF DRAIN
REFERENCE
REFRIGERATOR
REGISTER
REINFORCED
REGUIRED
RESULENT
ROOM
ROUGH OPENING
REDWOOD
RAIN WATER LEADER
SOLITH

S. C. SCHE. SCHE.

SUSPENDED SYMMETRICAL TREAD TOWEL BAR TOP OF CURB TELEPHONE

TELEVISION
TOP OF WALL
TYPICAL
UNFINISHED
UNLESS OTHERWISE NOTED

#### **REFERENCE SYMBOLS**



#### **GENERAL NOTES:**

MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR EXTERIOR DOORS AND 5 S FOR INTERIOR DOORS WHEN SUCH PUSHFULL EFFORTS ARE APPLIED AT RIGHT ANGLES TO NOR DOORS ON AT THE CENTER THAN OF SLIBING FOR TOLDING DOORS COMPENSATION DEVICES WITH A COMPANY OF THE STATE OF THE

INTERIOR FINISHES SHALL COMPLY WITH U.F.C. APPENDIX VI-C AND CBC CHAPTER8 . BUILDING OCCUPANT SHALL OBTAIN ALL REQUIRED PERMITS FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPYING BUILDING.

12. BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, U.F.C. SEC. 901.4.4.

13. ALL SECURITY LOCKS SHALL MEET REQUIREMENTS OF C.B.C.

14. ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE-RATED CORRIDORS

15. FIRE AND/OR SMOKE DAMPER ASSEMBLIES INCLUDING SLEEVES, AND INSTALLATION PROC SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION

16. A TACTILE SIGN STATING 'EXIT' AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT PROPOSED FLOOR FINISHES SHALL COMPLY WITH ASTM E648 AND SHALL HAVE ASTM E84 SMOKE JENSITY RATING OF LESS THAN 450, CBC 804.4.1

THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUM NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

21. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED AT ALL TIMES AND SHALL BE CONNECTED TO AR BERGENCY POWER SYSTEM (BATTERIES, UNIT QUIPMENT OR A ON-SITE GENERATOR) THAT WILL AUTOMATICALLY ILLUMINATE THE EXIT SIGNS FOR A DURATION OF NOT LESS

#### **PROJECT TEAM:**

TEL: CONTACT NAME

FALLBROOK REGIONAL HEALTH DISTRICT 138 S. BRANDON ROAD FALLBROOK, CA 92028 750 2374 0490 AGENT NAME

ENCINITAS DESIGN GROUP 607 N. VULCAN AVE. SUITE D ENCINITAS, CA, 92024 760.704.8111 TODD KUHLMAN

STRUCTURAL EN 1230 S. ETHEL AVENUE ALHAMBRA, CA 91803 951-536-8899 PATRICK DOAN

TEL: CONTACT NAME MEP ENGINEER PRO ENGINEERING CONSULTING, INC. 2712 LOKER AVE W #1063 CARLSBAD, CA 92010 949.239.6535 RYAN LABUS FIRM NAME: ADDRESS: CITY, STATE, ZIP CONTACT NAME

KITCHEN DESIGN CITY, STATE, ZIP TEL: CONTACT NAME: ENCINITAS, CA, 92024 760.704.8111 JEFF LEITER

TITLE 24

CARSTAIRS ENERGY, INC. 2238 BAYVIEW HEIGHTS DR. SUITE E LOS OSOS, CA, 93402 805.904.9048 TBD FIRM NAME: ADDRESS: CITY, STATE, ZIP:

#### PROJECT CODES AND STANDARDS

THIS PROJECT SHALL BE IN COMPLIANCE WITH THE FOLLOWING CODES AND STANDARDS:

THE CITY OF OCEANSIDE MUNICIPAL CODE
2022 EDITION OF THE CALIFORNIA BUILDING CODE, VOLS 1 & 2
2022 EDITION OF THE CALIFORNIA MECHANICAL CODE
2022 EDITION OF THE CALIFORNIA MECHANICAL CODE
2022 EDITION OF THE CALIFORNIA PLUMBING CODE
2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE
2022 EDITION OF THE CALIFORNIA ELECTRICAL CODE
2022 EDITION OF THE CALIFORNIA ENERGY CODE
2022 EDITION OF THE CALIFORNIA FIRE CODE
2022 EDITION OF THE CALIFORNIA FIRE CODE
2022 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS
2022 EDITION OF THE CALIFORNIA FIRE FIRE CONTROL STANDARDS CODE
2022 EDITION OF THE CALIFORNIA FIRE FIRE CONTROL STANDARDS CODE
2022 EDITION OF THE CALIFORNIA FIRE FIRE CONTROL STANDARDS CODE

**GREEN CODE NOTE:** 

PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVI BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CG C10:2 3

#### **PROJECT DATA**:

FALLBROOK REGIONAL HEALTH PROJECT DESCRIPTION: COMMUNITY HEALTH & WELLNESS CENTER SITE EXPANISION FOR EXISTING BUILDING.

PROJECT ADDRESS

OCCUPANCY:

LEGAL DESCRIPTION SEC 18-9-3W\*SEQ\*(EX RD&WID)DOC77-130625 II GENERAL PLAN: TYPE: VILLIAGE RESIDENTIAL (VR-2) COMMERCIAL

ZONING DESIGNATION RURAL RESIDENTIAL (RR) ENVIORNMENTAL:

FIRE SPRINKLERS: EXISTING FUTURE

0' FRONT; 0' REAR; 0" SIDE REQUIRED SETBACKS: PROPOSED SETBACKS >0' FRONT: 0' REAR: 0 SIDE PARKING:

SITE AREA 200 376 SE (4.6 AC BUILDING AREA Existing - First Floor Proposed - First Floor

FLOOR AREA RATIO: LOT COVERAGE: NOT APPLICABLE 45% MAX

102.5' = 6,150 sf lot area x 45% = 2,767.5 sf max)

BUILDING ROOF 2,245 SF Proposed 3,102 SF 43 79% TOTAL COVERAGE: 3,102 SF BUILDING HEIGHT: Max 30'-0" CONSTRUCTION TYPE Existing Proposed V-B V-B (no change

#### Fallbrook Regional Health

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**COVER SHEET** 

#### MATERIAL KEY

(B)

GENERIC	PLAN AND SECTION		FINISH
EXISTING CONDITION	BRICK MASONRY	WOOD FRAMING CONTINOUS 3" x 6"	WOOD SIDING
E ]DEMO CONDITION	CONCRETE	WOOD FRAMING DISCONTINOUS 3" x 6"	GLASS
NEW CONDITION	GYPSUM WALL BOARD PLASTER	INSULATION	FINISH WOOD
EARTH	PLYWOOD	RIGID INSULATION	FINISH WOOD
LANDSCAPE	ROOF TILE	STEEL STAINLESS STEEL	CERAMIC TILE

#### **INSULATION NOTES:**

CEILINGS TO HAVE R-30, WALLS R-11, AND RAISED FLOORS R-19 INSULATION. INSULATION TO COMPLY WITH CALIFORNIA QUALITY STANDARDS. MINIMUM R-S INSULATION IS REQUIRED ON DUCTS IN UNCONDITIONED SPACES. REQUIRED ON ADDICTS IN UNCONDITIONED SPACES. AND WINDOWS SHALL BE FULLY WEATHERSTRIPPED AND SHALL BE CENTIFIED AND LABELED TO COMPLY WITH ENERGY REGULATIONS.

#### **ENERGY EFFICIENCY COMPLIANCE:**

COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED AND DATED COPIES OF THE APPROPRIATE CFIR, CPZR, AND CFIS FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING WINER.

#### **FIRE DEPARTMENT NOTES:**

- PROVIDE KEYS TO FIRE DEPARTMENT TO PLACE IN KNOX BOX FOR EMERGENCY ACCESS
- ACCESS.

  ON EACH FLOOR PROVIDE ONE (1) 2A -108C MINIMUM RATED FIRE EXTINGUISHER PER 3:00 SQUARE FEET. TRAVEL DISTANCE MOT TO EXCEED 75 FEET. RECETRICAL -ALL CIRCUIT BREAKERS SHALL BE LABELED TO CLEARLY INDICATE AREAS SERVED. THE MAIN ELECTRICAL SHUT-OFF SHALL BE IDENTIFIED WITH ETHER THE BUSINESS NAME OR THE BUSINESS ADDRESS. AN APPROVED SET OF PLANS (BUILDING ETC.) SHALL BE ON THE JOB SITE DURING CONSTRUCTION. NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH ABOVE.

#### REQUIRED SPECIAL FEATURES:

- THE FOLLOWING ARE FEATURES THAT MUST BE INSTALLED AS CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS
- ELIING I HE MÜDLELD ENERGY PERFURMANUE FOR I HIS COMPUTER ANALYSIS.
  CEILING HAS RIGH LEVEL DI NISULATION
  VARIABLE CAPACITY HEATPUMP COMPLIANCE OPTION (VERIFICATION DETAILS
  FROM VCHIP STAFF REPORT, APPENDIX B, AND RA3)
  NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEA) RATED HEAT PUMP WATER
  HEATER: SPECIFIC BRANDMOBEL, OR EQUIVALENT, MUST BE INSTALLED

#### HERS FEATURE SUMMARY:

- THE FOLLOWING IS A SUMMARY OF THE FEATURES THAT MUST BE FIELD VERIFIED BY A CERTIFIED HERS RATER AS A CONDITION FOR MEETING THE MODELED ENERGY PERFORMANCE FOR THIS COMPUTER ANALYSIS ADDITIONAL DETAIL IS PROVIDED IN THE BUILDING TABLES BELOW. REGISTERED GF2RS AND GF3RS ARE REQUIRED TO BE COMPLETED IN THE HERS REGISTRY

  INDOOR AIR QUALITY VENTILATION

  KITCHER RANGE HOOD

  VERIFIED REFRICERANT CHARGE
  AIRFLOW INHABITABLE ROOMS (SC3.1.4.1.7)

  VERIFIED HEATPUMP RATED HEATING CAPACITY

  WALL-MOUNTED THERMOSTAT IN ZONES GREATER THAN 150FT2 (SC3.4.5.)

  DUCTLESS INDOOR UNITS LOCATED ENTIRELY IN CONDITIONED SPACE (SC3.1.4.1.8)

#### **SHEET INDEX:**

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R	ARCHITECT	TURAL .		
.	A0.00	COVER SHEET	A5.01	SECTIONS LONGITUDINAL
-	A0.01	PERSPECTIVES	A5.02	SECTIONS LONGITUDINAL
	A0.02	TITLE 24	A6.00	DOOR & WINDOWS TYPES
	A0.03	TITLE 24	A7.00	EXT WALLS.
	A1.00	SITE PLAN	A8.00	WALL DETAILS & SECTIONS
	A1.1.1	ACCESSIBILITY REQUIREMENTS	A9.00	ENLARGED RESTROOM PLAN & ELEVATION
	A1.1.2	ACCESSIBILITY REQUIREMENTS	A10.00	ENLARGED KITCHEN PLAN & ELEVATION
	A1.1.3	NON-RESIDENTIAL GREEN CODE	X.0.00	UTILITY PLAN
	A1.1.4	NON-RESIDENTIAL GREEN CODE		
	A1.1.5	NON-RESIDENTIAL GREEN CODE	ELECTRICAL	-
	A2.00	LEVEL 1 - (E) EXISTING SITE/FLOOR PLAN	E1.00	ELECTRICAL DETAILS
	A2.01	(E) ROOF PLAN	E1.02	ELECTRICAL DETAILS
	A2.02	ENLARGED LEVEL 1 - (E) EXISTING SITE/FLOOR PLAN	E1.03	ELECTRICAL DETAILS
	A2.03	LEVEL 1 - (E) EXISTING REFLECTIVE CEILING DEMO		
		PLAN	MECHANICA	L
	A3.00	LEVEL 1 - (N) SITE/FLOOR PLAN	M1.00	MECHANICAL DETAILS
BYA	A3.01	(N) ROOF PLAN	M1.01	MECHANICAL DETAILS
	A3.02	ENLARGED LEVEL 1 - FLOOR PLAN AREA OF WORK	M1.02	MECHANICAL DETAILS
3RS	A3.03	LEVEL 1 - (N) REFLECTIVE CEILING PLAN		
JK5	A4.00	BUILDING ELEVATIONS	PLUMBING	
	A4.01	BUILDING ELEVATIONS		
	A4.02	BUILDING ELEVATIONS		
	A5.00	SECTIONS TRANSVERSE		









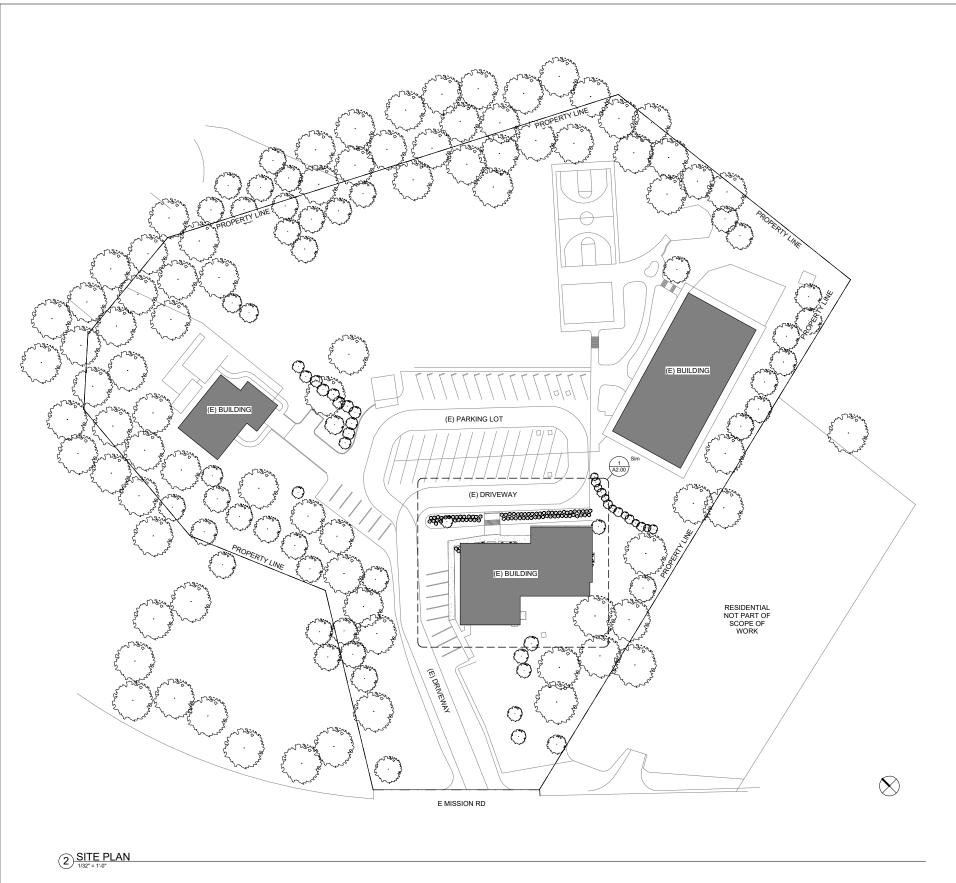


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PERSPECTIVES

FRHD Building Expe Preliminary Plan



#### SITE PLAN KEYNOTES:

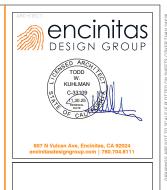
- EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER TI PERMIT
- EXISTING MARQUEE STRUCTURE ABOVE SIDEWALK TO REMAIN REMOVE
   EXISTING FINISHES RE REPLACED LINDER TI PERMIT
- 3. CONSTRUCT 2X WOOD TUNNEL STRUCTURE WITH ROOF FOR PEDESTRIAN CONTROL UNDER EXISTING AWNINGS DURING DEMO
- 4. EXISTING AWNING STRUCTURE ABOVE 301 TO REMAIN
- 5. EXISTING ROOF AND ROOFTOP EQUIPMENT TO REMAIN
- 6. TENANT AREAS NOT INCLUDED IN PROPOSED SCOPE
- 7. DEMO AND REMOVE ALL EXISTING SOIL, GRADE, CONCRETE, AND OTHER MATERIALS AS REQUIRED FOR BUILDING EXPANSION. THIS INCLUDES EXCAVATION, REGRADING FOR DRAININGE AND FOUNDATION, AND DEMOLITION OF EXISTING CONCRETE STRUCTURES OR SLASS REFERENCES: 224 SUPPLEMENTAL CHANGES. SUPPLEMENT TO SECTION 1693-5, 1 (SOIL REMOVIA, ARE DESCRIPTION OF SECTION 1693-5, 1 (SOIL 3331,1 (CONCRETE REMOVIAL AND SITE PREPARATION).

#### **ACCESSIBLE ROUTE NOTES:**

- THE EXISTING ACCESSIBLE ROUTE IS TO BE 5% MAXIMUM RAISING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-403.3
- 2. SITE PLAN CONTAINS NO PROPOSED WORK.
- 3. ALL REQUIRED ACCESSIBLE PARKING AND RAMPS WILL BE CONSTRUCTED BY THE OWNER SEPARATELY. SIDEWALKS AND PATHS OF TRAVEL, WHICH MEET CURRENT CBC CHAPTER 11 ACCESSIBILITY REQUIREMENTS, ARE INCLUDED IN THIS SET AND ARE TO REMAIN AS CONSTRUCTED.



CONC = CONCRETE



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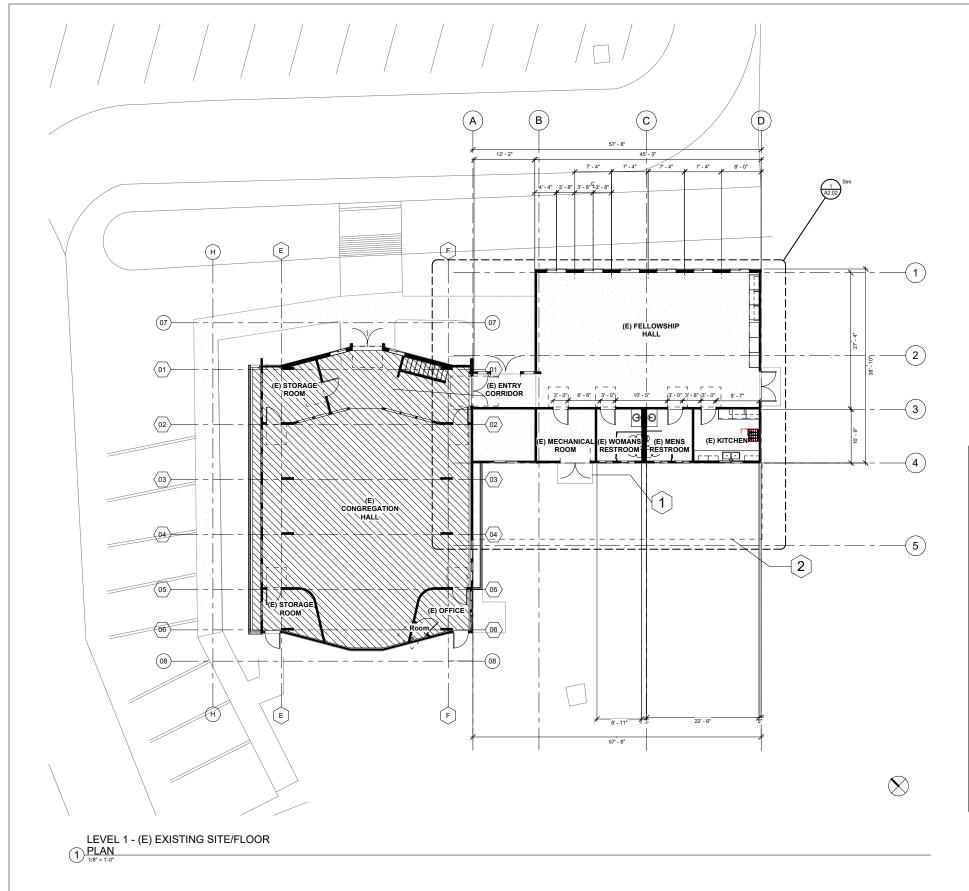
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SITE PLAN

SHEET NUMBER

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Preliminary Plans 8/13/2024 12:40:48 PM



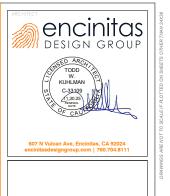
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- LINE OF (N) WORKING EXPANSION, REMOVE ALL PLANTS, SOILS, CONCRETE, AND ETC AS NEEDED.

#### **DEMO NOTES**:

- 1. DEMO EXISTING EXTERIOR SLAB
- DEMO AND REMOVE ALL EXISTING SOIL, GRADE, CONCRETE, AND OTHER MATERIALS AS REQUIRED FOR BUILDING EXPANSION. THIS INCLUDES EXCAVATION, REGRADING FOR DRAINAGE AND FOUNDATION, AND DEMOLITION OF EXISTING CONCRETE STRUCTURES OR SLASS REFERENCES: 224 SUPPLEMENTAL CHANGES. SUPPLEMENT 1 TO SECTION 1803.5, 1 (SOIL REMOVAL AND SITE DEFORMED SECTION 1803.5, 1 (SOIL REMOVAL AND GREEN FERPARATION).

LEGEND METAL FENCE STEP MARKER T = STREET LIGHT O = STREET SIGN / POST - = UTILITY POLE = AIR CONDITIONER = UTILITY BOX = WATER METER O = DRAIN ( = FIRE HYDRANT O = SEWER / MAN-HOLE COVER = IRRIGATION CONTROL VALVE ▶ = HOSE BIB GAS METER = ELECTRIC METER PV = SOLAR COMPONENTS ▼ = NATURAL GAS LINE BR = BRICK PA = PLANTING AREA EQ = EQUIPMENT CONC = CONCRETE



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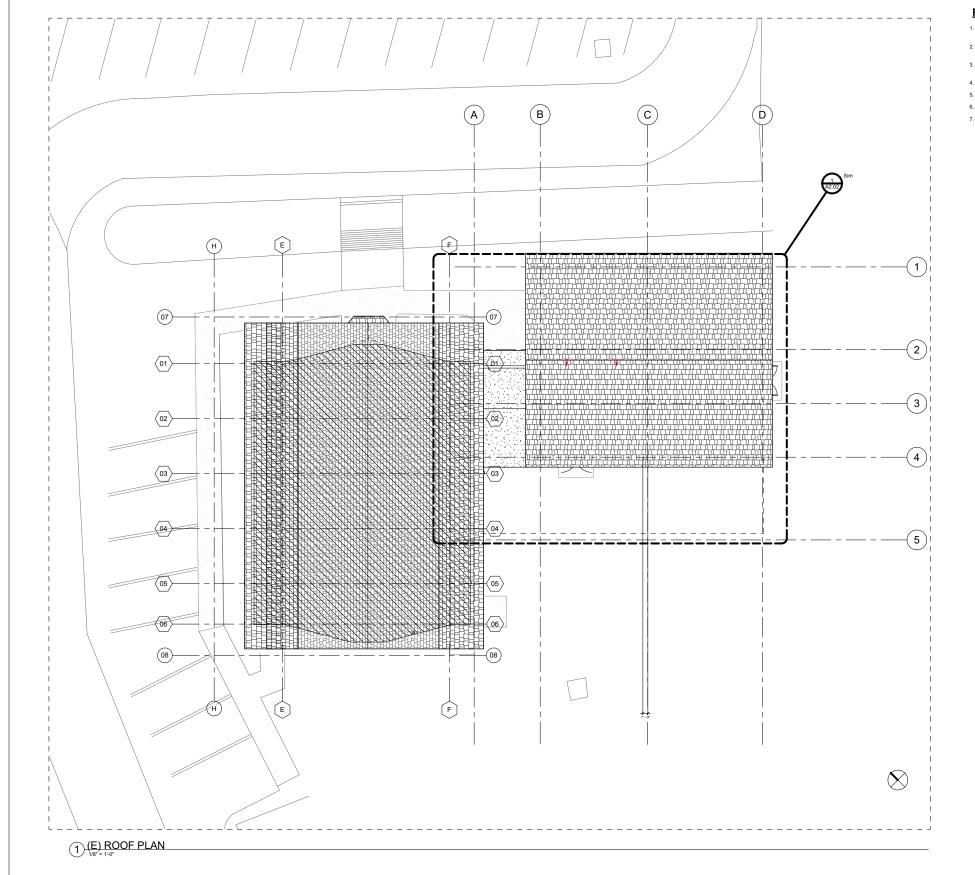
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LEVEL 1 - (E) EXISTING SITE/FLOOR PLAN

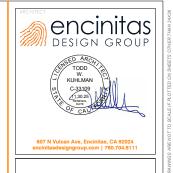
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#### **ROOF PLAN KEYNOTES**:

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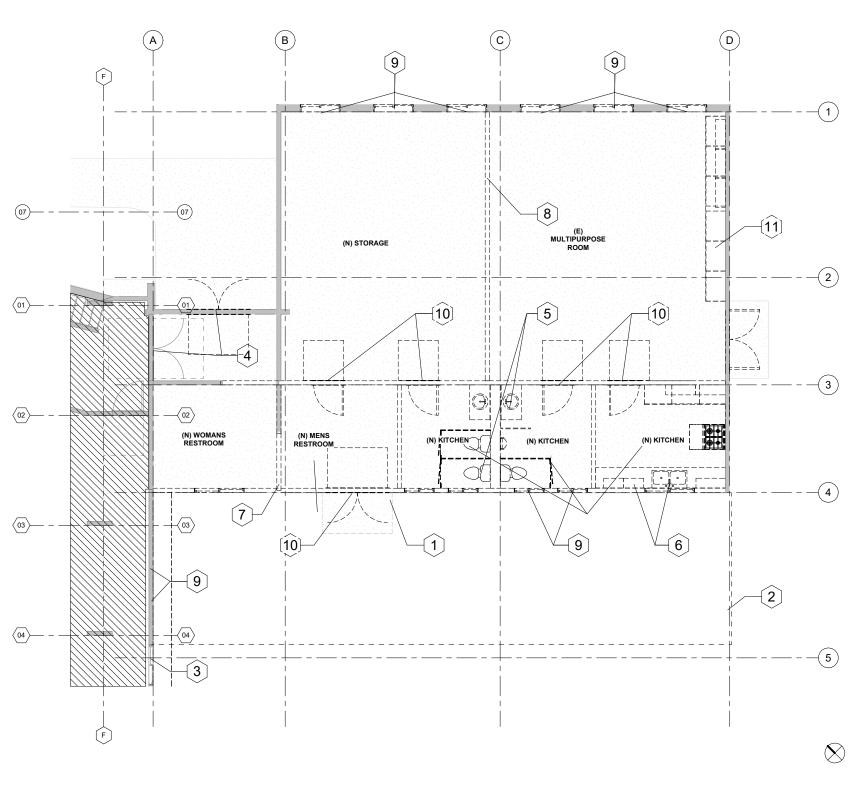
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1/8" = 1'-0"

(E) ROOF PLAN

FRHD Buildiung Experimenty Plant Pla

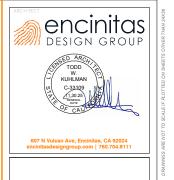


#### **EXISTING FLOOR PLAN KEYNOTES**:

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#### **DEMO NOTES**:

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- 3. (E) EXISTING WINDOWS TO REMAIN
- 4. (E) EXISING DOOR TO REMAIN
- 5. REMOVE ALL EXISTING TOILET FIXTURES & PLUMBING CAP AS SHOWN
- 6. REMOVE ALL EXISTING (E) EXISTING CABINET CASEWORK & APPLIANCES
- SHARE EXISTING ROOF STRUCTURE & REMOVE (E) EXISTING LOAD BEARING EXTERIOR WALL
- 8. REMOVE (E) EXISTING BEAM SEE A2.02
- 9. REMOVE (E) EXISTING WINDOWS
- 10. REMOVE (E) EXISTING DOOR
- 11. REMOVE ALL (E) FLOORING & WALL BASEBAORDS



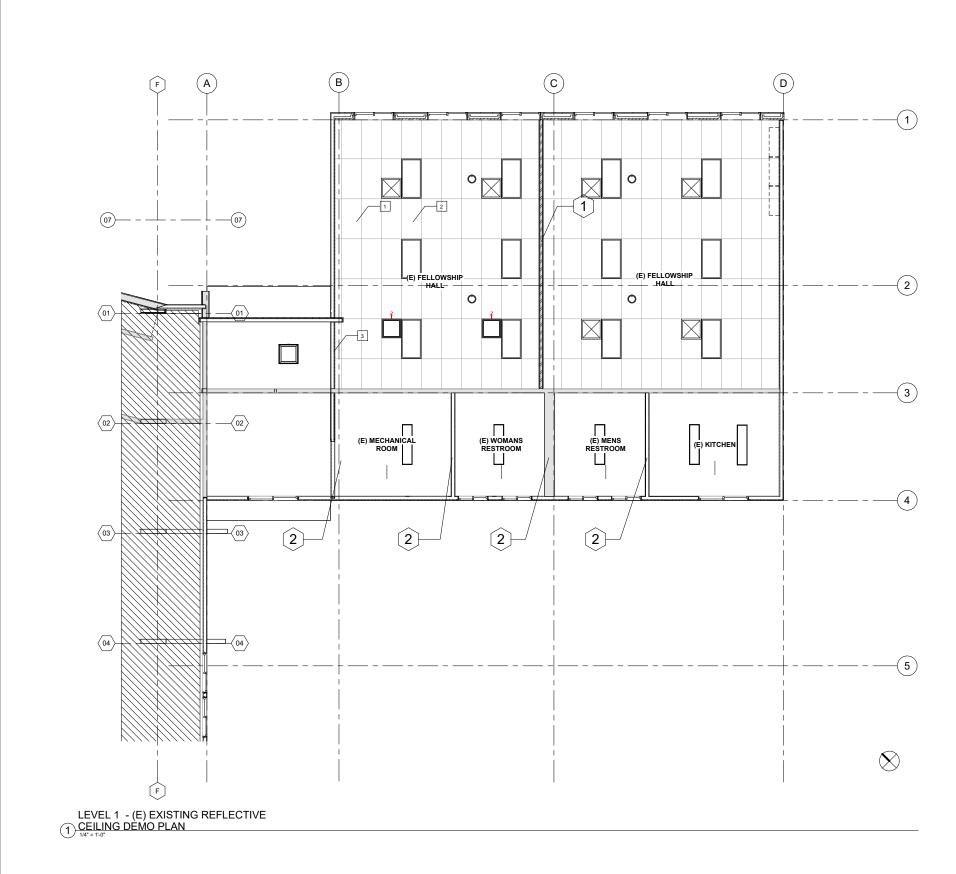
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200## ENLARGED LEVEL 1 - (E) EXISTING SITE/FLOOR PLAN

ENLARGED LEVEL 1 - (E) EXISTING 1 FLOOR PLAN

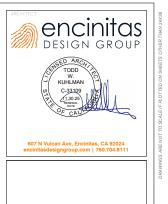


#### **REFLECTIVE CEILING PLAN KEYNOTES:**

- (E) EXISTING ACT GRID SYSTEM TO REMAIN; PAINT IN PLACE. REMOVE AND REPLACE ALL LIGHTS, REGELERS, CELLERE
- 2. 2 X 4 RECTANGULAR SECOND LOCK TILE
- 3. (E) EXISTING DRYWALL CEILING TO REMAIN

# **DEMO NOTES**:

- DEMO (E) EXISTING HEADER BEAM
- 2. DEMO (E) EXISTING DRYWALL CEILING THROUGHOUT



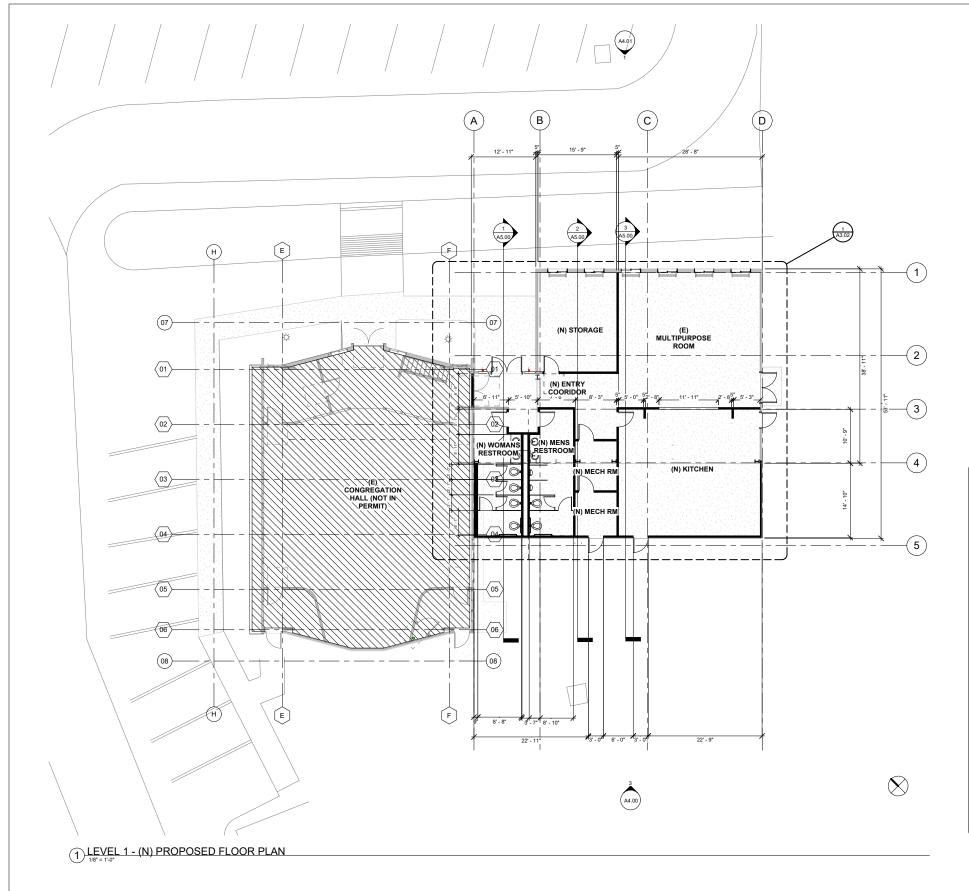
# Fallbrook Regional

Health 1636 E. MISSION RD, FALLBROOK, CA 92808

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LEVEL 1 - (E) EXISTING REFLECTIVE CEILING DEMO PLAN



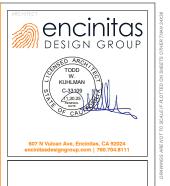
#### SITE PLAN KEYNOTES:

- EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER TI PERMIT
- 2. RETROFIT FOR NEW WINDOWS WITH NEW OPENING IN ENTRY CORRIDOR.
- 3. INSTALL WALLS, DOORS, AND WINDOWS AS SHOWN IN PLANS AND ROOM SCHEDULE.
- CREATE NEW KITCHEN SPACE WITH A LARGE OPENING INTO THE MULTIPURPOSE ROOM.
- 5. PREPARE NEW KITCHEN SPACE BY RECOATING AND SMOOTHING SURFACES PRIOR TO PAINTING. PAINT WITH ACCESSIBLE GREY (LIGHT GREY-BLUE) IN GREEN DISTRICT COLORS. APPLY PAINT TO WALLS, WALL TILES, VINYL FLOOR PLANKS, AND CAMPER TILES..
- 6. INSTALL NEW KITCHEN SPACE AS PER EQUIPMENT LIST.
- 7. INSTALL NEW MID-LEVEL FINISH ON RESTROOM WALLS.

#### **ACCESSIBLE ROUTE NOTES:**

- THE EXISTING ACCESSIBLE ROUTE IS TO BE 5% MAXIMUM RAISING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-403.3
- 2. SITE PLAN CONTAINS NO PROPOSED WORK.
- 3. ALL REQUIRED ACCESSIBLE PARKING AND RAMPS WILL BE CONSTRUCTED BY THE OWNER SEPARATELY. SIDEWALKS AND PATHS OF TRAVEL, WHICH MEET CURRENT CBC CHAPTER 11 ACCESSIBILITY REQUIREMENTS, ARE INCLUDED IN THIS SET AND ARE TO REMAIN AS CONSTRUCTED.

LEGEND METAL FENCE = STEP MARKER T = STREET LIGHT O = STREET SIGN / POST - = UTILITY POLE = AIR CONDITIONER = UTILITY BOX = WATER METER O = DRAIN ( = FIRE HYDRANT O = SEWER / MAN-HOLE COVER = IRRIGATION CONTROL VALVE GAS METER = ELECTRIC METER PV = SOLAR COMPONENTS ▼ = NATURAL GAS LINE ☐ = DOWNSPOUT EQ = EQUIPMENT CONC = CONCRETE



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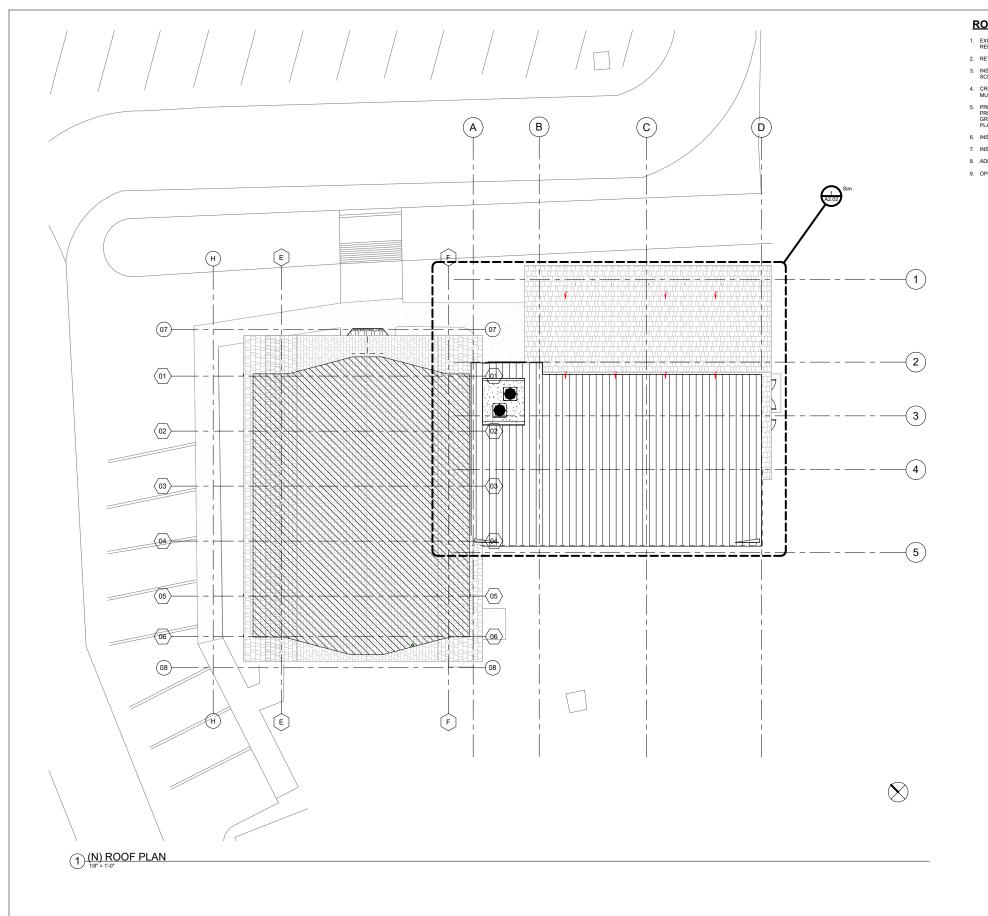
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LEVEL 1 - (N) SITE/FLOOR PLAN

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#### **ROOF PLAN KEYNOTES**:

- EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER TI PERMIT
- 2. RETROFIT FOR NEW WINDOWS WITH NEW OPENING IN ENTRY CORRIDOR.
- 3. INSTALL WALLS, DOORS, AND WINDOWS AS SHOWN IN PLANS AND ROOM SCHEDULE.
- CREATE NEW KITCHEN SPACE WITH A LARGE OPENING INTO THE MULTIPURPOSE ROOM.
- PREPARE NEW KITCHEN SPACE BY RECOATING AND SMOOTHING SURFACES PRIOR TO PAINTING. PAINT WITH ACCESSIBLE GREY (LIGHT GREY-BLUE) IN GREEN DISTRICT COLORS. APPLY PAINT TO WALLS, WALL TILES, VINYL FLOOR PLANKS, AND CAMPER TILES..
- 6. INSTALL NEW KITCHEN SPACE AS PER EQUIPMENT LIST.
- 7. INSTALL NEW MID-LEVEL FINISH ON RESTROOM WALLS.
- 8. ADD ROOF DRAIN.
- 9. OPEN TO ROOF BELOW.



EQ = EQUIPMENT

CONC = CONCRETE



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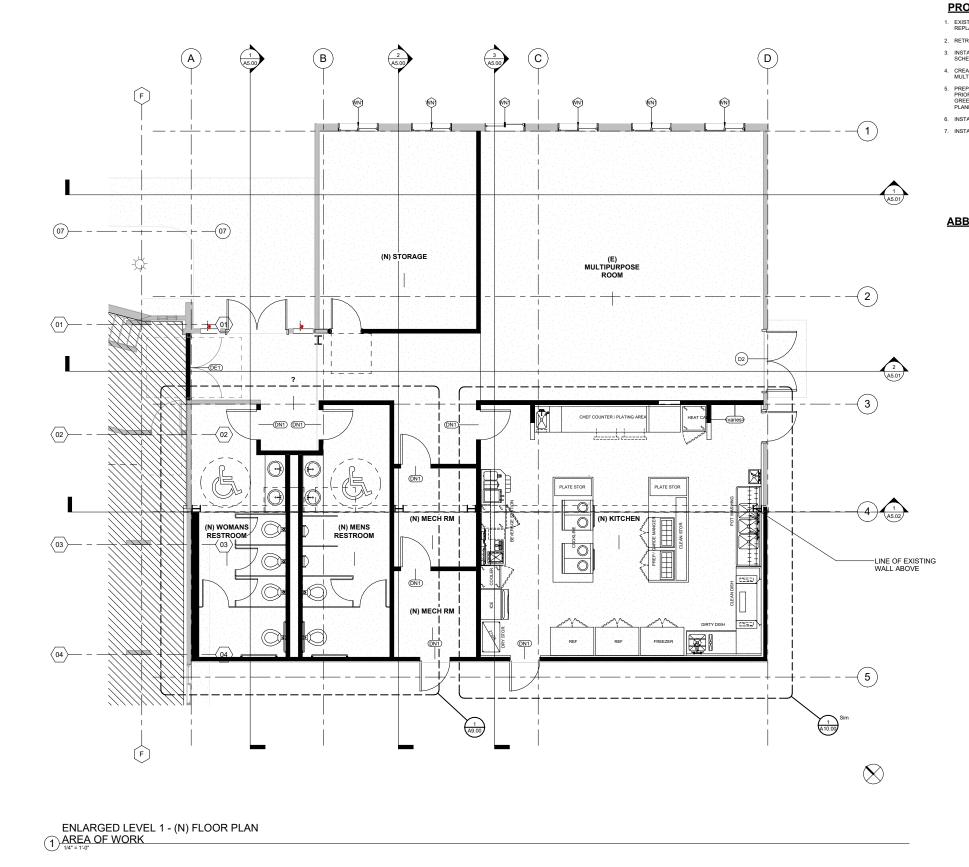
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(N) ROOF PLAN

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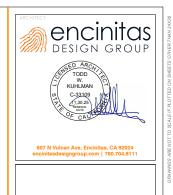
Preliminary Plans



#### **PROPOSED FLOOR PLAN KEYNOTES**:

- EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER TI PERMIT
- 2. RETROFIT FOR NEW WINDOWS WITH NEW OPENING IN ENTRY CORRIDOR.
- 3. INSTALL WALLS, DOORS, AND WINDOWS AS SHOWN IN PLANS AND ROOM SCHEDULE.
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- 6. INSTALL NEW KITCHEN SPACE AS PER EQUIPMENT LIST.
- 7. INSTALL NEW MID-LEVEL FINISH ON RESTROOM WALLS.

#### ABBREVIATION LEGEND:



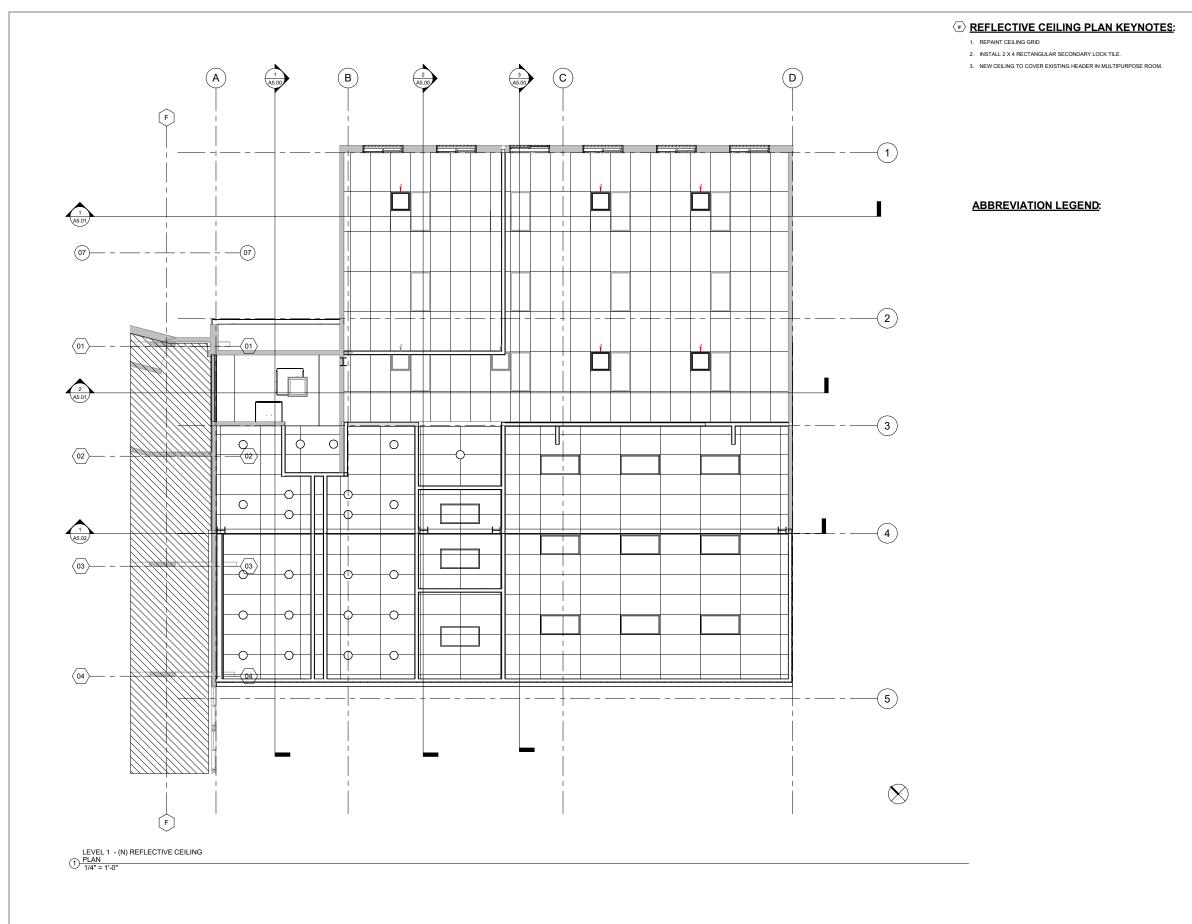
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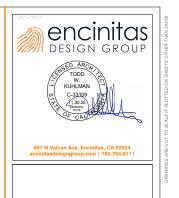
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ENLARGED LEVEL 1 -FLOOR PLAN AREA OF WORK





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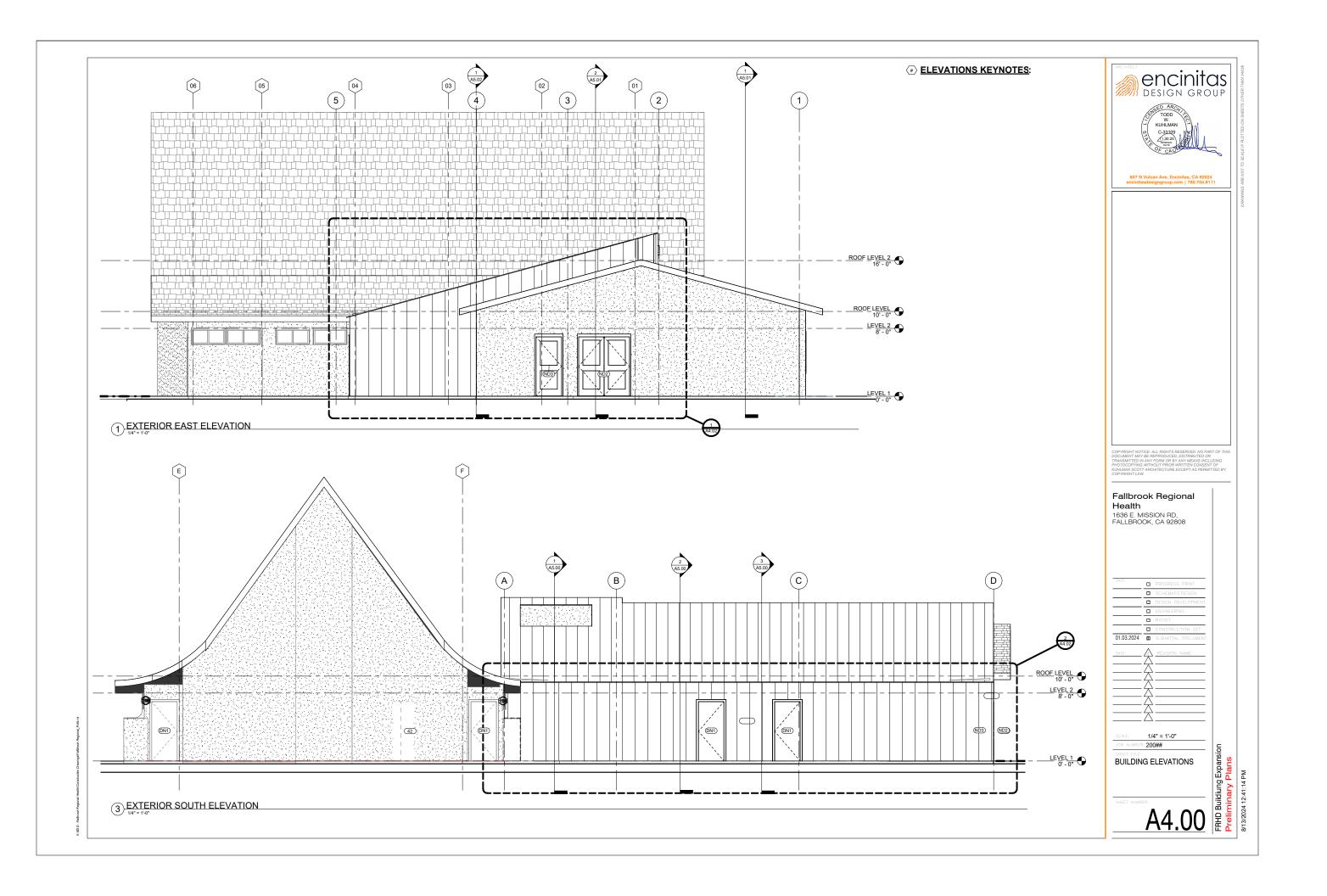
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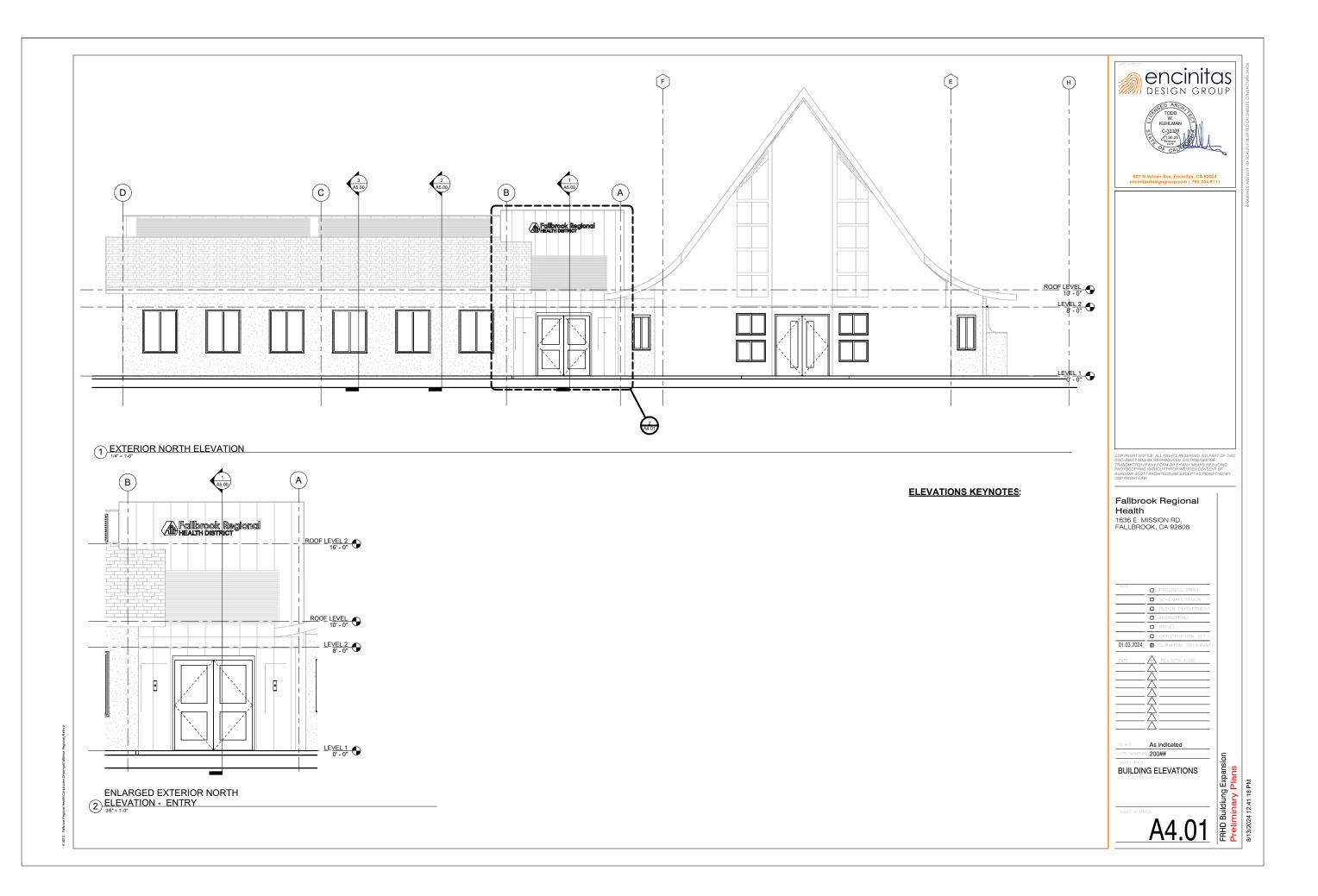
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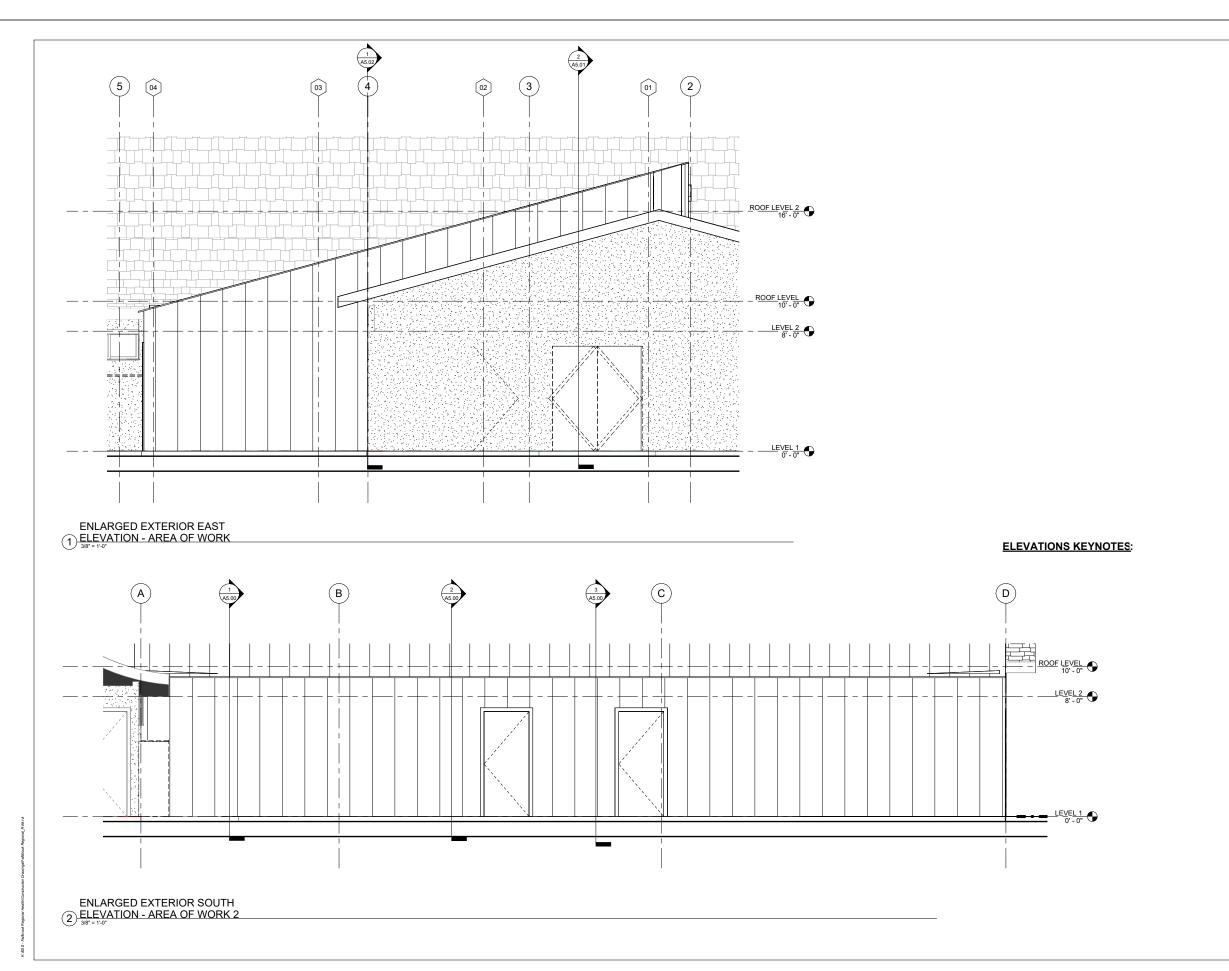
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LEVEL 1 - (N) REFLECTIVE CEILING PLAN

READ Building Experiments Plant Plan







encinitas DESIGN GROUP Fallbrook Regional Health 1636 E. MISSION RD, FALLBROOK, CA 92808

01.03.2024 3/8" = 1'-0"

ER: 200## **BUILDING ELEVATIONS** 

Preliminary Plan

