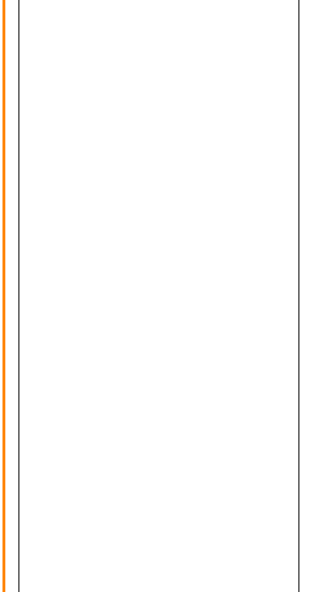


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01.03.2024	<input checked="" type="checkbox"/>	SUBMITTAL DOCUMENT

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SCALE:
JOB NUMBER: 200##

SHEET TITLE:
PERSPECTIVES

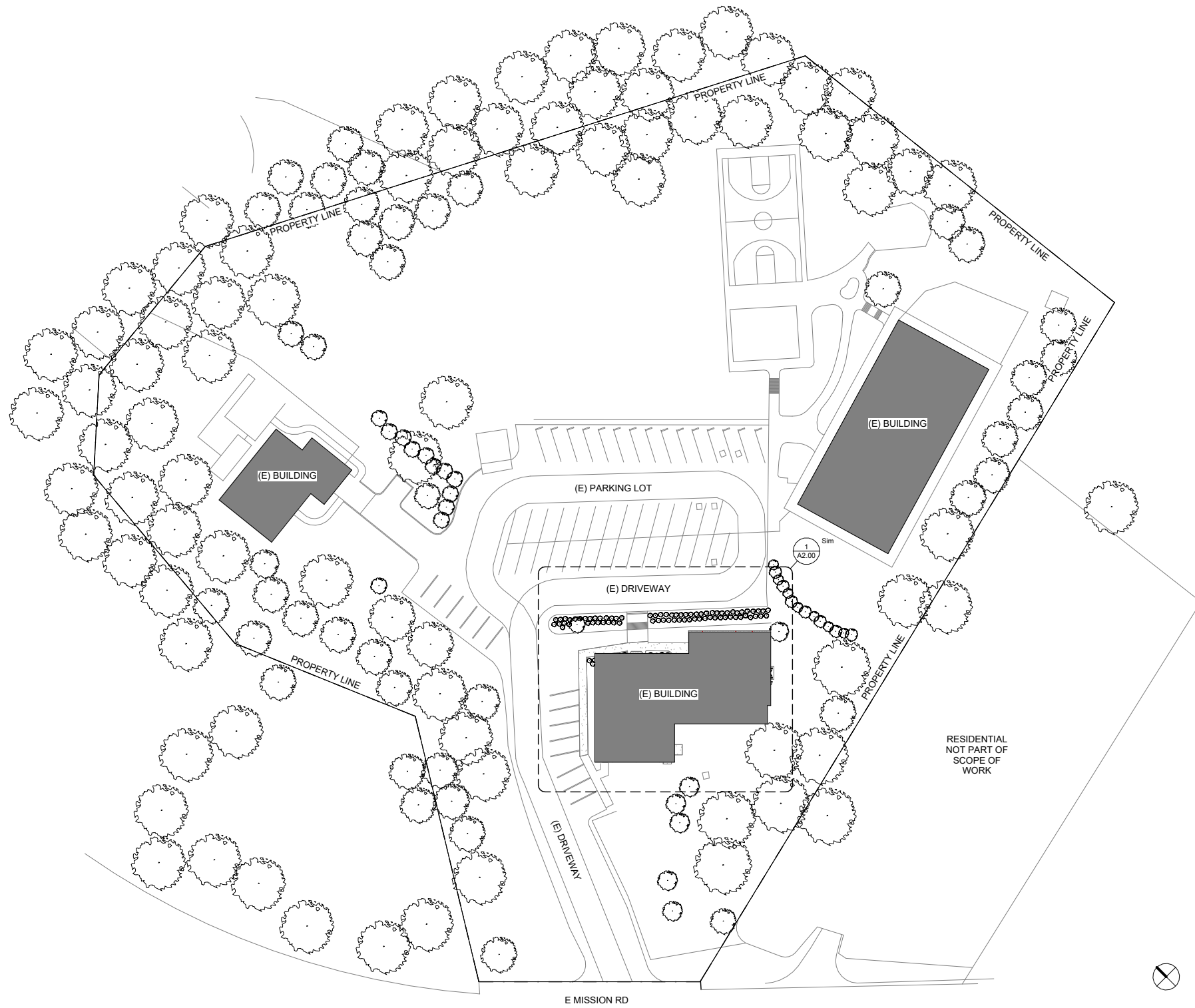
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A0.01

FRHD Building Expansion
Preliminary Plans

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SITE PLAN KEYNOTES:

- EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE - DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER TI PERMIT
- EXISTING MARQUEE STRUCTURE ABOVE SIDEWALK TO REMAIN - REMOVE EXISTING FINISHES - BE REPLACED UNDER TI PERMIT
- CONSTRUCT 2X WOOD TUNNEL STRUCTURE WITH ROOF FOR PEDESTRIAN CONTROL UNDER EXISTING AWNINGS DURING DEMO
- EXISTING AWNING STRUCTURE ABOVE 301 TO REMAIN
- EXISTING ROOF AND ROOFTOP EQUIPMENT TO REMAIN
- TENANT AREAS NOT INCLUDED IN PROPOSED SCOPE
- DEMO AND REMOVE ALL EXISTING SOIL, GRADE, CONCRETE, AND OTHER MATERIALS AS REQUIRED FOR BUILDING EXPANSION. THIS INCLUDES EXCAVATION, REGRADING FOR DRAINAGE AND FOUNDATION, AND DEMOLITION OF EXISTING CONCRETE STRUCTURES OR SLABS. REFERENCES: 2024 SUPPLEMENTAL CHANGES - SUPPLEMENT 1 TO SECTION 1803.5.1 (SOIL REMOVAL AND REGRADING REQUIREMENTS) AND SUPPLEMENT 2 TO SECTION 3303.1 (CONCRETE REMOVAL AND SITE PREPARATION).

ACCESSIBLE ROUTE NOTES:

- THE EXISTING ACCESSIBLE ROUTE IS TO BE 5% MAXIMUM RAISING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-403.3
- SITE PLAN CONTAINS NO PROPOSED WORK.
- ALL REQUIRED ACCESSIBLE PARKING AND RAMPS WILL BE CONSTRUCTED BY THE OWNER SEPARATELY. SIDEWALKS AND PATHS OF TRAVEL, WHICH MEET CURRENT CBC CHAPTER 11 ACCESSIBILITY REQUIREMENTS, ARE INCLUDED IN THIS SET AND ARE TO REMAIN AS CONSTRUCTED.

LEGEND

FLOWLINE	
METAL FENCE	
•	= STEP MARKER
☼	= STREET LIGHT
⊞	= STREET SIGN / POST
⊕	= UTILITY POLE
⊗	= AIR CONDITIONER
⊞	= UTILITY BOX
⊞	= WATER METER
⊞	= DRAIN
⊞	= FIRE HYDRANT
⊞	= SEWER / MAN-HOLE COVER
⊞	= IRRIGATION CONTROL VALVE
⊞	= HOSE BIB
⊞	= GAS METER
⊞	= ELECTRIC METER
⊞	= SOLAR COMPONENTS
⊞	= NATURAL GAS LINE
⊞	= DOWNSPOUT
BR	= BRICK
WF	= WATER FEATURE
PA	= PLANTING AREA
EQ	= EQUIPMENT
CONC	= CONCRETE

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	BIDSET
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DATE	REVISION NAME

SCALE: As indicated
 JOB NUMBER: 200##
 SHEET TITLE: SITE PLAN

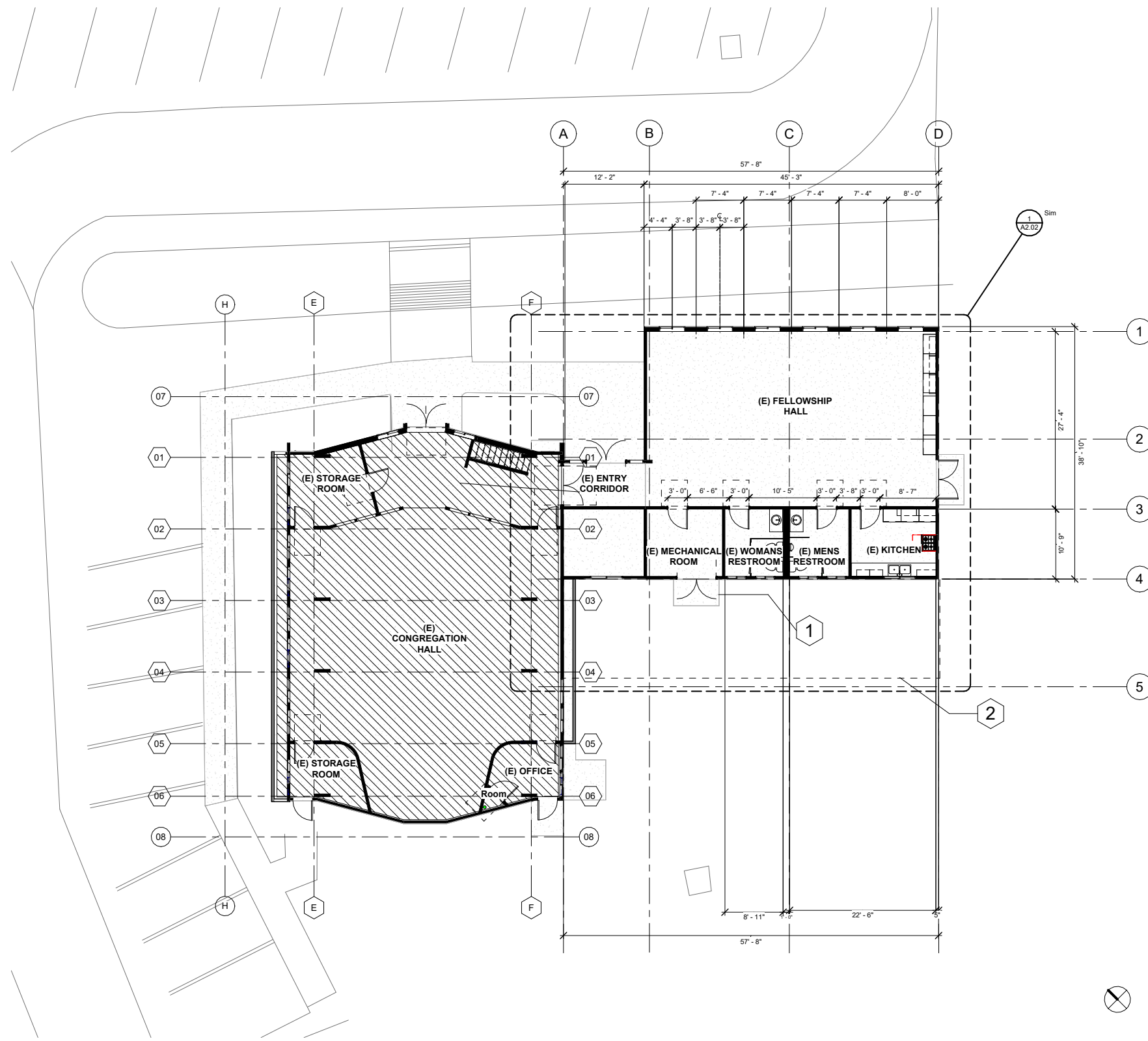
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A1.00

2 SITE PLAN
 1/2" = 1'-0"

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FRHD Building Expansion
Preliminary Plans
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1 LEVEL 1 - (E) EXISTING SITE/FLOOR PLAN
1/8" = 1'-0"

SITE PLAN KEYNOTES:

- EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE - DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER TI PERMIT
- EXISTING MARQUEE STRUCTURE ABOVE SIDEWALK TO REMAIN - REMOVE EXISTING FINISHES - BE REPLACED UNDER TI PERMIT
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- EXISTING AWNING STRUCTURE ABOVE 301 TO REMAIN
- EXISTING ROOF AND ROOFTOP EQUIPMENT TO REMAIN
- TENANT AREAS NOT INCLUDED IN PROPOSED SCOPE
- LINE OF (N) WORKING EXPANSION, REMOVE ALL PLANTS, SOILS, CONCRETE, AND ETC AS NEEDED.

DEMO NOTES:

- DEMO EXISTING EXTERIOR SLAB
- DEMO AND REMOVE ALL EXISTING SOIL, GRADE, CONCRETE, AND OTHER MATERIALS AS REQUIRED FOR BUILDING EXPANSION. THIS INCLUDES EXCAVATION, REGRADING FOR DRAINAGE AND FOUNDATION, AND DEMOLITION OF EXISTING CONCRETE STRUCTURES OR SLABS. REFERENCES: 2024 SUPPLEMENTAL CHANGES - SUPPLEMENT 1 TO SECTION 1803.5.1 (SOIL REMOVAL AND REGRADING REQUIREMENTS) AND SUPPLEMENT 2 TO SECTION 3303.1 (CONCRETE REMOVAL AND SITE PREPARATION)

LEGEND

FLOWLINE	
METAL FENCE	
•	= STEP MARKER
☼	= STREET LIGHT
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⊕	= UTILITY POLE
⊞	= AIR CONDITIONER
⊞	= UTILITY BOX
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	DESIGN DEVELOPMENT
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	CONSTRUCTION SET
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DATE	REVISION NAME

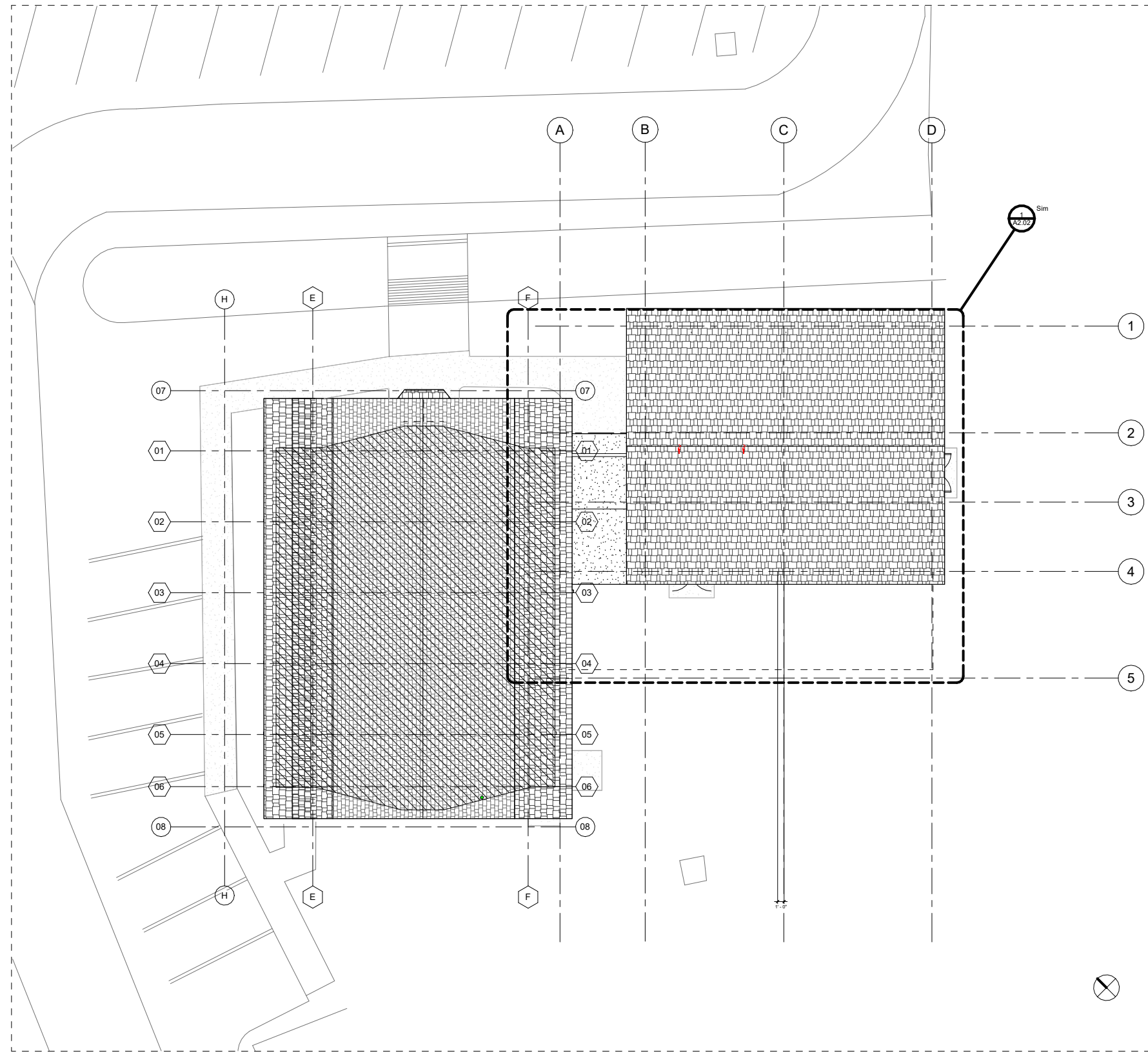
SCALE: As indicated
JOB NUMBER: 200##

SHEET TITLE:
LEVEL 1 - (E) EXISTING SITE/FLOOR PLAN

SHEET NUMBER:
A2.00

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ROOF PLAN KEYNOTES:

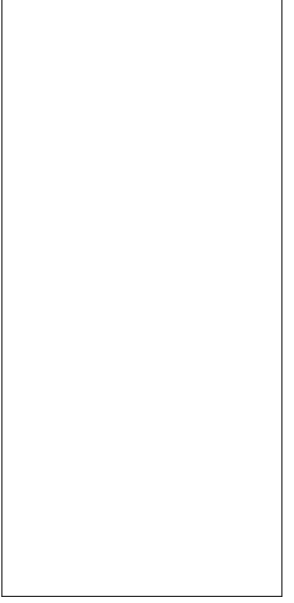
1. EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE - DOOR TO BE DEMOD' AND REPLACED WITH NEW UNDER TI PERMIT
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6. TENANT AREAS NOT INCLUDED IN PROPOSED SCOPE
7. LINE OF (N) WORKING EXPANSION, REMOVE ALL PLANTS, SOILS, CONCRETE, AND ETC AS NEEDED.

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SCALE: 1/8" = 1'-0"

JOB NUMBER: 200##

SHEET TYPE:
(E) ROOF PLAN

SHEET NUMBER:

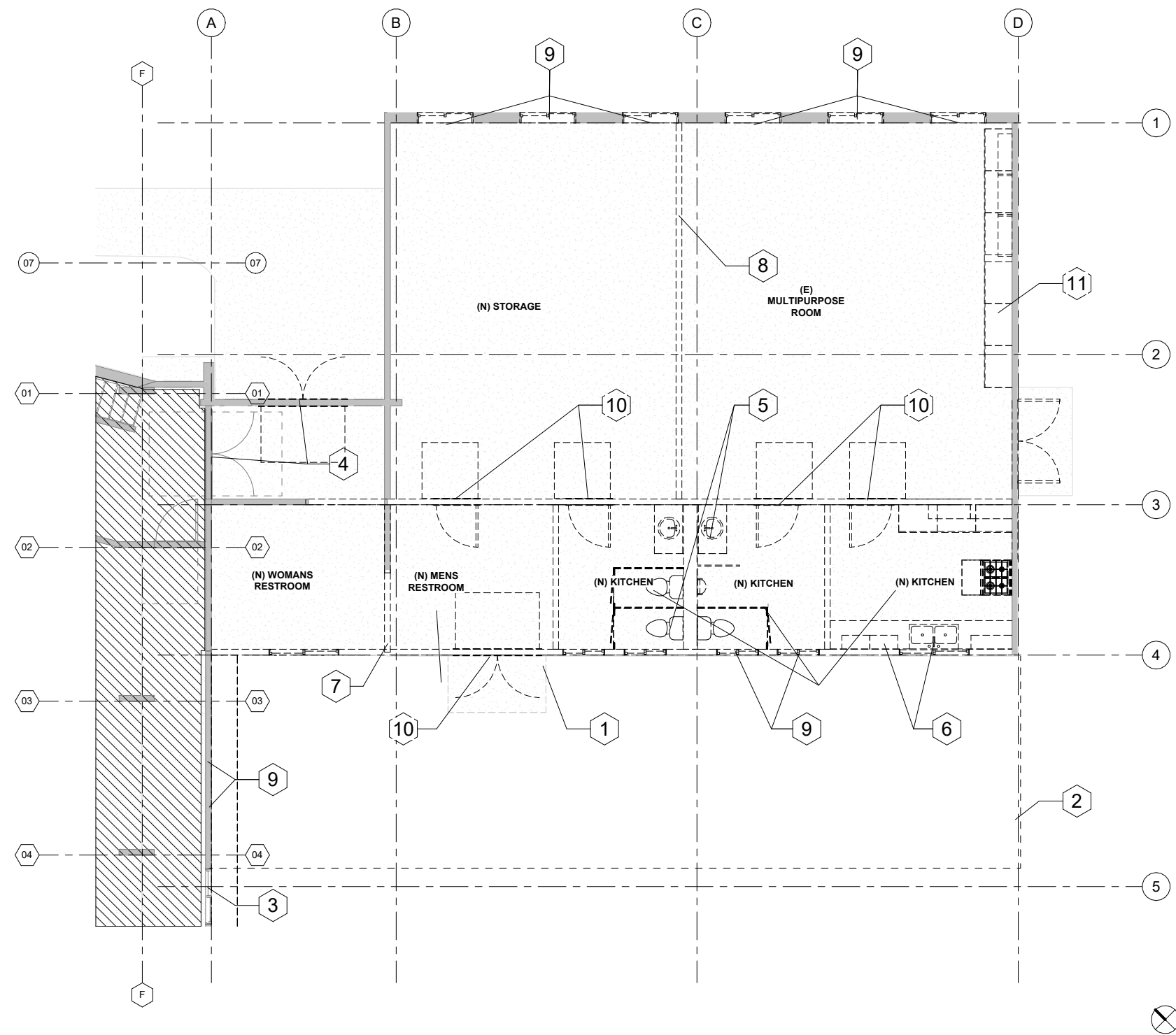
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Preliminary Plans
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1 (E) ROOF PLAN
1/8" = 1'-0"

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1 ENLARGED LEVEL 1 - (E) EXISTING FLOOR PLAN
1/4" = 1'-0"

EXISTING FLOOR PLAN KEYNOTES:

1. EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE - DOOR TO BE DEMOD AND REPLACED WITH NEW UNDER T1 PERMIT
2. EXISTING MARQUEE STRUCTURE ABOVE SIDEWALK TO REMAIN - REMOVE EXISTING FINISHES - BE REPLACED UNDER T1 PERMIT
3. CONSTRUCT 2X WOOD TUNNEL STRUCTURE WITH ROOF FOR PEDESTRIAN CONTROL UNDER EXISTING AWNINGS DURING DEMO
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6. TENANT AREAS NOT INCLUDED IN PROPOSED SCOPE
7. LINE OF (N) WORKING EXPANSION, REMOVE ALL PLANTS, SOILS, CONCRETE, AND ETC AS NEEDED.

DEMO NOTES:

1. DEMO EXISTING EXTERIOR SLAB
2. DEMO AND REMOVE ALL EXISTING SOIL, GRADE, CONCRETE, AND OTHER MATERIALS AS REQUIRED FOR BUILDING EXPANSION. THIS INCLUDES EXCAVATION, REGRADING FOR DRAINAGE AND FOUNDATION, AND DEMOLITION OF EXISTING CONCRETE STRUCTURES OR SLABS. REFERENCES: 2024 SUPPLEMENTAL CHANGES - SUPPLEMENT 1 TO SECTION 1803.5.1 (SOIL REMOVAL AND REGRADING REQUIREMENTS) AND SUPPLEMENT 2 TO SECTION 3303.1 (CONCRETE REMOVAL AND SITE PREPARATION)
3. (E) EXISTING WINDOWS TO REMAIN
4. (E) EXISTING DOOR TO REMAIN
5. REMOVE ALL EXISTING TOILET FIXTURES & PLUMBING CAP AS SHOWN
6. REMOVE ALL EXISTING (E) EXISTING CABINET CASEWORK & APPLIANCES
7. SHARE EXISTING ROOF STRUCTURE & REMOVE (E) EXISTING LOAD BEARING EXTERIOR WALL
8. REMOVE (E) EXISTING BEAM SEE A2.02
9. REMOVE (E) EXISTING WINDOWS
10. REMOVE (E) EXISTING DOOR
11. REMOVE ALL (E) FLOORING & WALL BASEBOARDS

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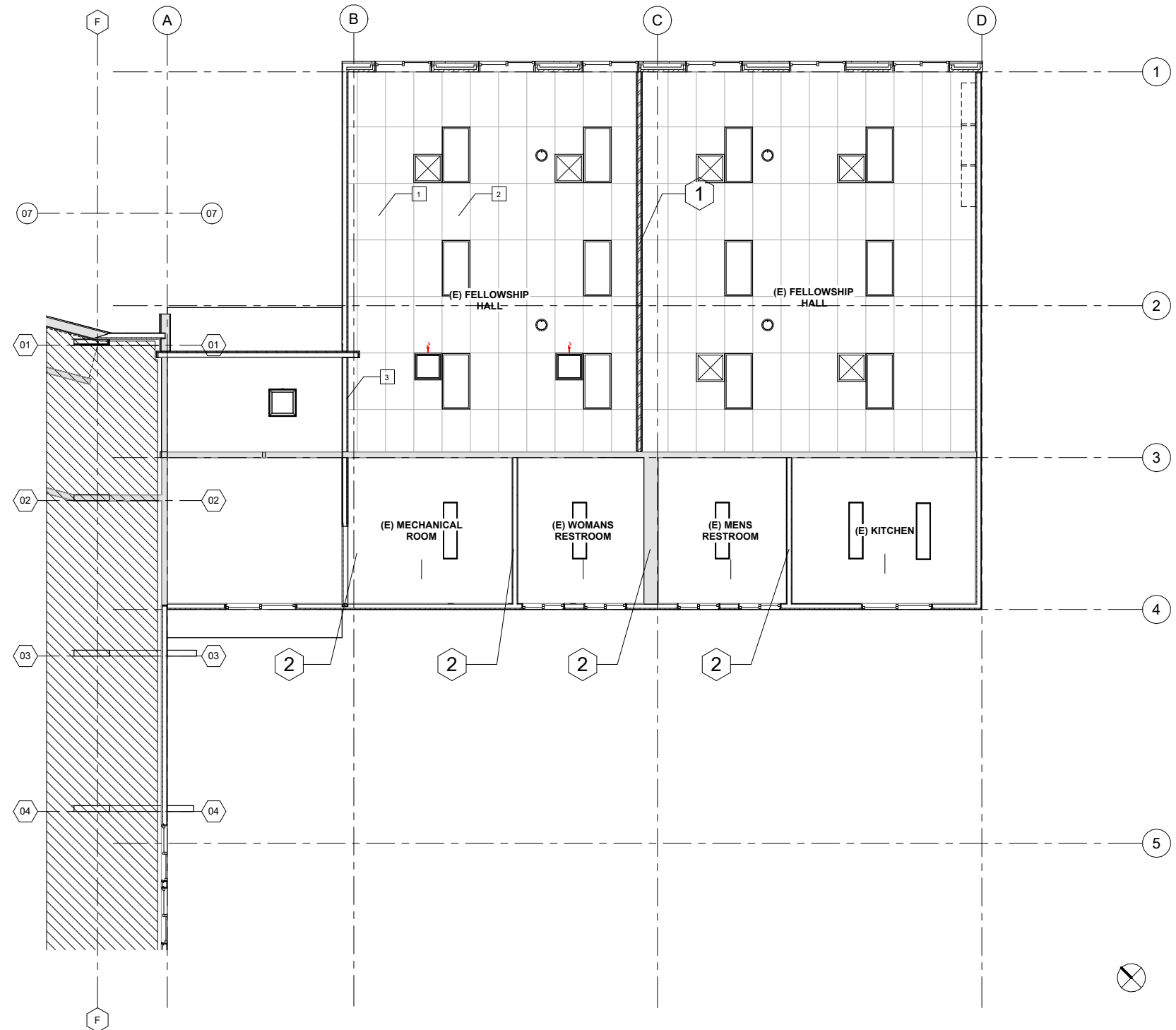
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SHEET TITLE:
ENLARGED LEVEL 1 - (E) EXISTING SITE/FLOOR PLAN

SHEET NUMBER:
A2.02

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REFLECTIVE CEILING PLAN KEYNOTES:

- (E) EXISTING ACT GRID SYSTEM TO REMAIN. PAINT IN PLACE. REMOVE AND REPLACE ALL LIGHTS, REGELERS, CELLERE
- 2 X 4 RECTANGULAR SECOND LOCK TILE
- (E) EXISTING DRYWALL CEILING TO REMAIN

DEMO NOTES:

- DEMO (E) EXISTING HEADER BEAM
- DEMO (E) EXISTING DRYWALL CEILING THROUGHOUT

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	<input type="checkbox"/>	DESIGN DEVELOPMENT
	<input type="checkbox"/>	ENGINEERING
	<input type="checkbox"/>	BIDSET
	<input type="checkbox"/>	CONSTRUCTION SET
01.03.2024	<input checked="" type="checkbox"/>	SUBMITTAL DOCUMENT

DATE	REVISION NAME

SCALE: 1/4" = 1'-0"
 JOB NUMBER: 200##

SHEET TITLE
LEVEL 1 - (E) EXISTING REFLECTIVE CEILING DEMO PLAN

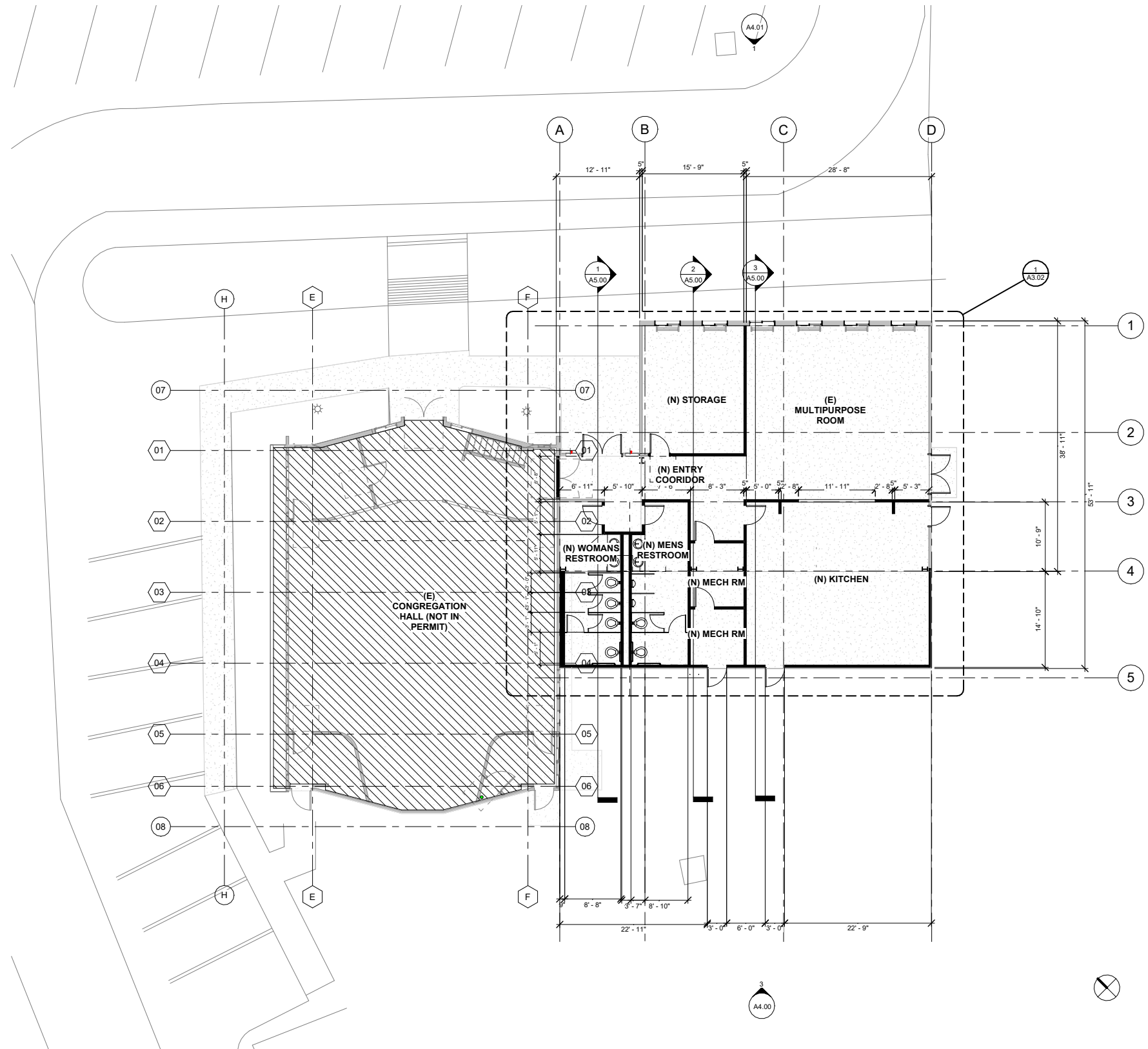
SHEET NUMBER:
A2.03

1 LEVEL 1 - (E) EXISTING REFLECTIVE CEILING DEMO PLAN
 1/4" = 1'-0"

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Preliminary Plans
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1 LEVEL 1 - (N) PROPOSED FLOOR PLAN
1/8" = 1'-0"

SITE PLAN KEYNOTES:

- EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE - DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER T1 PERMIT
- RETROFIT FOR NEW WINDOWS WITH NEW OPENING IN ENTRY CORRIDOR.
- INSTALL WALLS, DOORS, AND WINDOWS AS SHOWN IN PLANS AND ROOM SCHEDULE.
- CREATE NEW KITCHEN SPACE WITH A LARGE OPENING INTO THE MULTIPURPOSE ROOM.
- PREPARE NEW KITCHEN SPACE BY RECOATING AND SMOOTHING SURFACES PRIOR TO PAINTING. PAINT WITH 'ACCESSIBLE GREY' (LIGHT GREY-BLUE) IN GREEN DISTRICT COLORS. APPLY PAINT TO WALLS, WALL TILES, VINYL FLOOR PLANKS, AND CAMPER TILES.
- INSTALL NEW KITCHEN SPACE AS PER EQUIPMENT LIST.
- INSTALL NEW MID-LEVEL FINISH ON RESTROOM WALLS.

ACCESSIBLE ROUTE NOTES:

- THE EXISTING ACCESSIBLE ROUTE IS TO BE 5% MAXIMUM RAISING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-403.3
- SITE PLAN CONTAINS NO PROPOSED WORK.
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LEGEND

FLOWLINE	
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[Symbol]	STEP MARKER
[Symbol]	STREET LIGHT
[Symbol]	STREET SIGN / POST
[Symbol]	UTILITY POLE
[Symbol]	AIR CONDITIONER
[Symbol]	UTILITY BOX
[Symbol]	WATER METER
[Symbol]	DRAIN
[Symbol]	FIRE HYDRANT
[Symbol]	SEWER / MAN-HOLE COVER
[Symbol]	IRRIGATION CONTROL VALVE
[Symbol]	HOSE BIB
[Symbol]	GAS METER
[Symbol]	ELECTRIC METER
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[Symbol]	BRICK
[Symbol]	WF = WATER FEATURE
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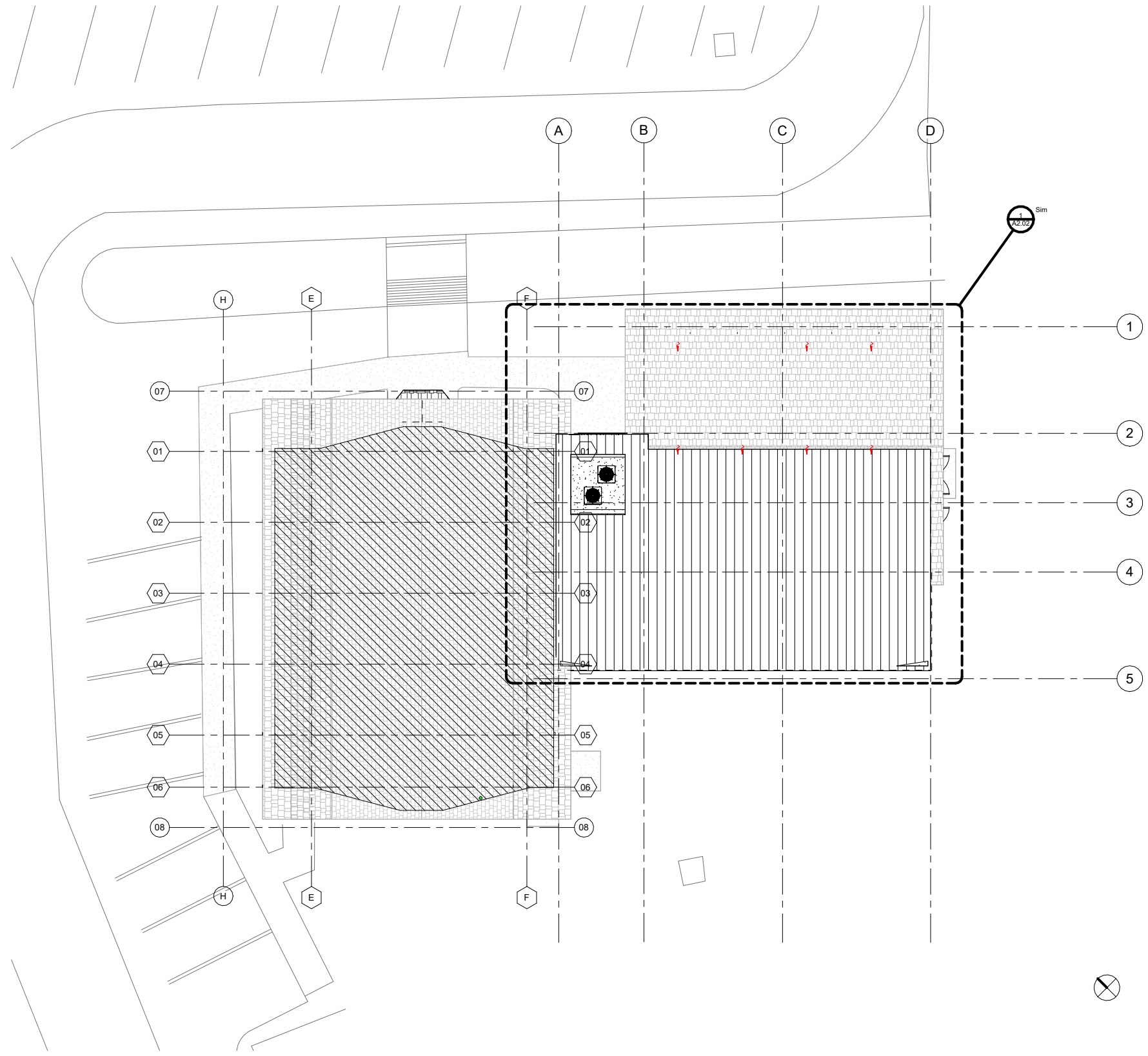
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 JOB NUMBER: 200##

SHEET TITLE:
LEVEL 1 - (N) SITE/FLOOR PLAN

SHEET NUMBER:
A3.00

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ROOF PLAN KEYNOTES:

1. EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE - DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER T1 PERMIT
2. RETROFIT FOR NEW WINDOWS WITH NEW OPENING IN ENTRY CORRIDOR.
3. INSTALL WALLS, DOORS, AND WINDOWS AS SHOWN IN PLANS AND ROOM SCHEDULE.
4. CREATE NEW KITCHEN SPACE WITH A LARGE OPENING INTO THE MULTIPURPOSE ROOM.
5. PREPARE NEW KITCHEN SPACE BY RECOATING AND SMOOTHING SURFACES PRIOR TO PAINTING. PAINT WITH 'ACCESSIBLE GREY' (LIGHT GREY-BLUE) IN GREEN DISTRICT COLORS. APPLY PAINT TO WALLS, WALL TILES, VINYL FLOOR PLANKS, AND CAMPER TILES.
6. INSTALL NEW KITCHEN SPACE AS PER EQUIPMENT LIST.
7. INSTALL NEW MID-LEVEL FINISH ON RESTROOM WALLS.
8. ADD ROOF DRAIN.
9. OPEN TO ROOF BELOW.

LEGEND

- FLOWLINE
- METAL FENCE
- = STEP MARKER
 - ☼ = STREET LIGHT
 - ⊠ = STREET SIGN / POST
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SCALE: As indicated
JOB NUMBER: 200##
SHEET TITLE:
(N) ROOF PLAN

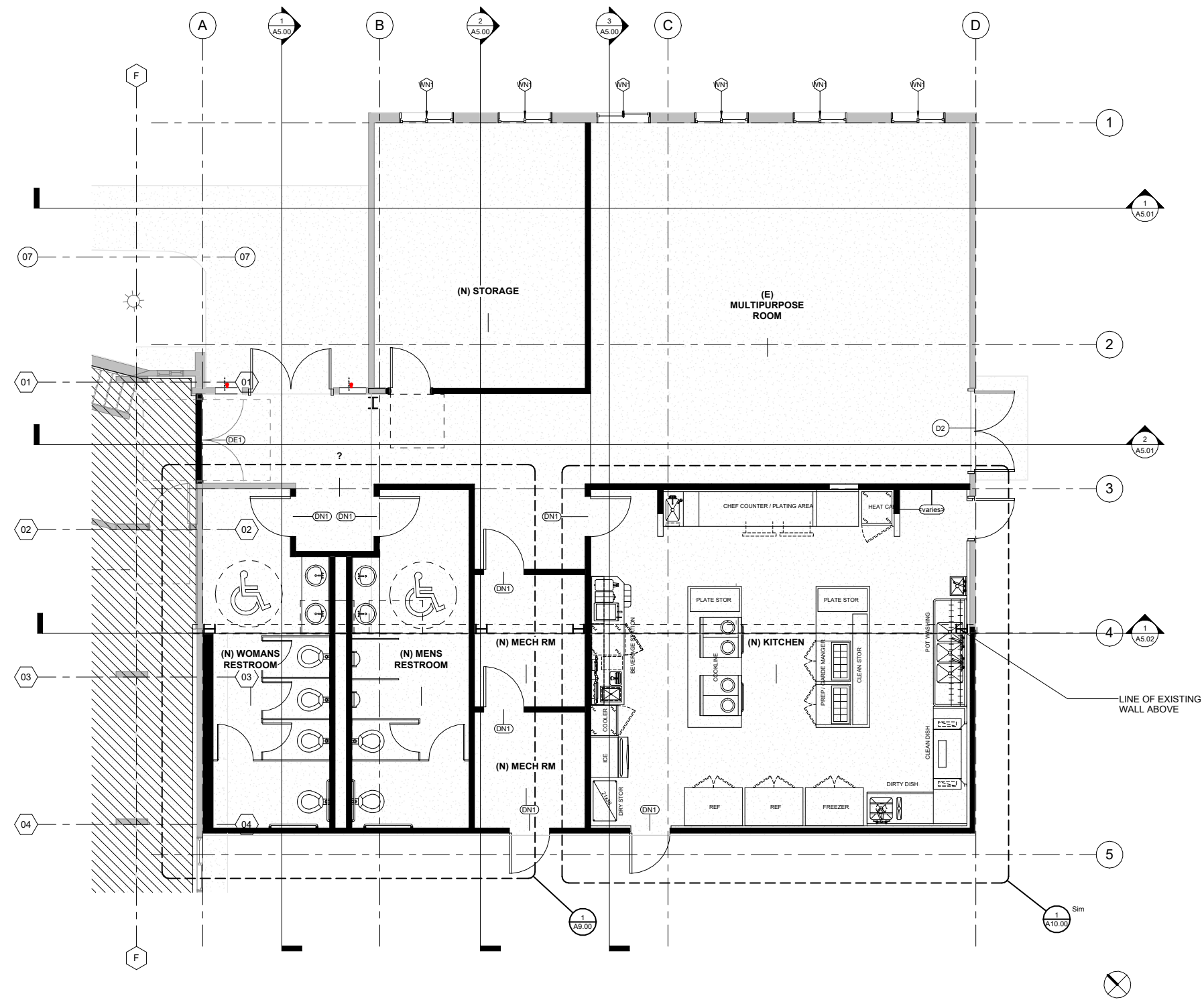
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1 (N) ROOF PLAN
1/8" = 1'-0"

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PROPOSED FLOOR PLAN KEYNOTES:

1. EXISTING FULLY ACCESSIBLE PRIMARY ENTRANCE - DOOR TO BE DEMO'D AND REPLACED WITH NEW UNDER TI PERMIT
2. RETROFIT FOR NEW WINDOWS WITH NEW OPENING IN ENTRY CORRIDOR.
3. INSTALL WALLS, DOORS, AND WINDOWS AS SHOWN IN PLANS AND ROOM SCHEDULE.
4. CREATE NEW KITCHEN SPACE WITH A LARGE OPENING INTO THE MULTIPURPOSE ROOM.
5. PREPARE NEW KITCHEN SPACE BY RECOATING AND SMOOTHING SURFACES PRIOR TO PAINTING. PAINT WITH 'ACCESSIBLE GREY' (LIGHT GREY-BLUE) IN GREEN DISTRICT COLORS. APPLY PAINT TO WALLS, WALL TILES, VINYL FLOOR PLANKS, AND CAMPER TILES.
6. INSTALL NEW KITCHEN SPACE AS PER EQUIPMENT LIST.
7. INSTALL NEW MID-LEVEL FINISH ON RESTROOM WALLS.

ABBREVIATION LEGEND:

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DESIGN GROUP

TODD W. KUHLMAN
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1.30.25
1998-2025
STATE OF CALIFORNIA

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01.03.2024	<input checked="" type="checkbox"/>	SUBMITTAL DOCUMENT

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SCALE: 1/4" = 1'-0"
JOB NUMBER: 200##

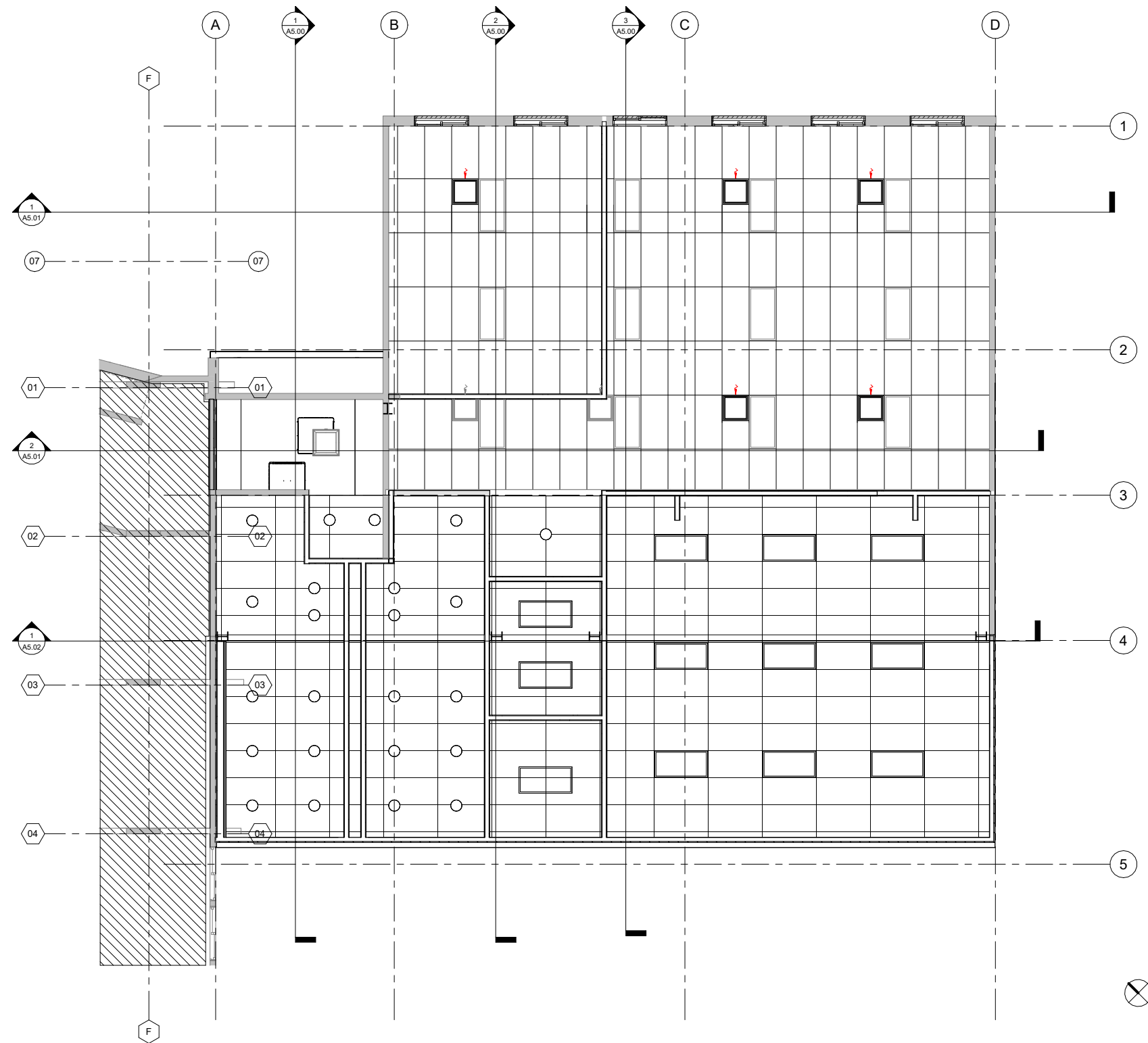
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ENLARGED LEVEL 1 - FLOOR PLAN AREA OF WORK

SHEET NUMBER:
A3.02

ENLARGED LEVEL 1 - (N) FLOOR PLAN
1 AREA OF WORK
1/4" = 1'-0"

K:\BID\17 - Fallbrook Regional Health\Construction\2024\03\fallbrook_region_a3.02.rvt

DRAWINGS ARE NOT TO SCALE IF PLOTTED ON SHEETS OTHER THAN 2408



LEVEL 1 - (N) REFLECTIVE CEILING
 PLAN
 1/4" = 1'-0"

- REFLECTIVE CEILING PLAN KEYNOTES:**
1. REPAINT CEILING GRID
 2. INSTALL 2 X 4 RECTANGULAR SECONDARY LOCK TILE.
 3. NEW CEILING TO COVER EXISTING HEADER IN MULTIPURPOSE ROOM.

ABBREVIATION LEGEND:

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SCALE: 1/4" = 1'-0"
 JOB NUMBER: 200##

SHEET TITLE:
LEVEL 1 - (N) REFLECTIVE CEILING PLAN

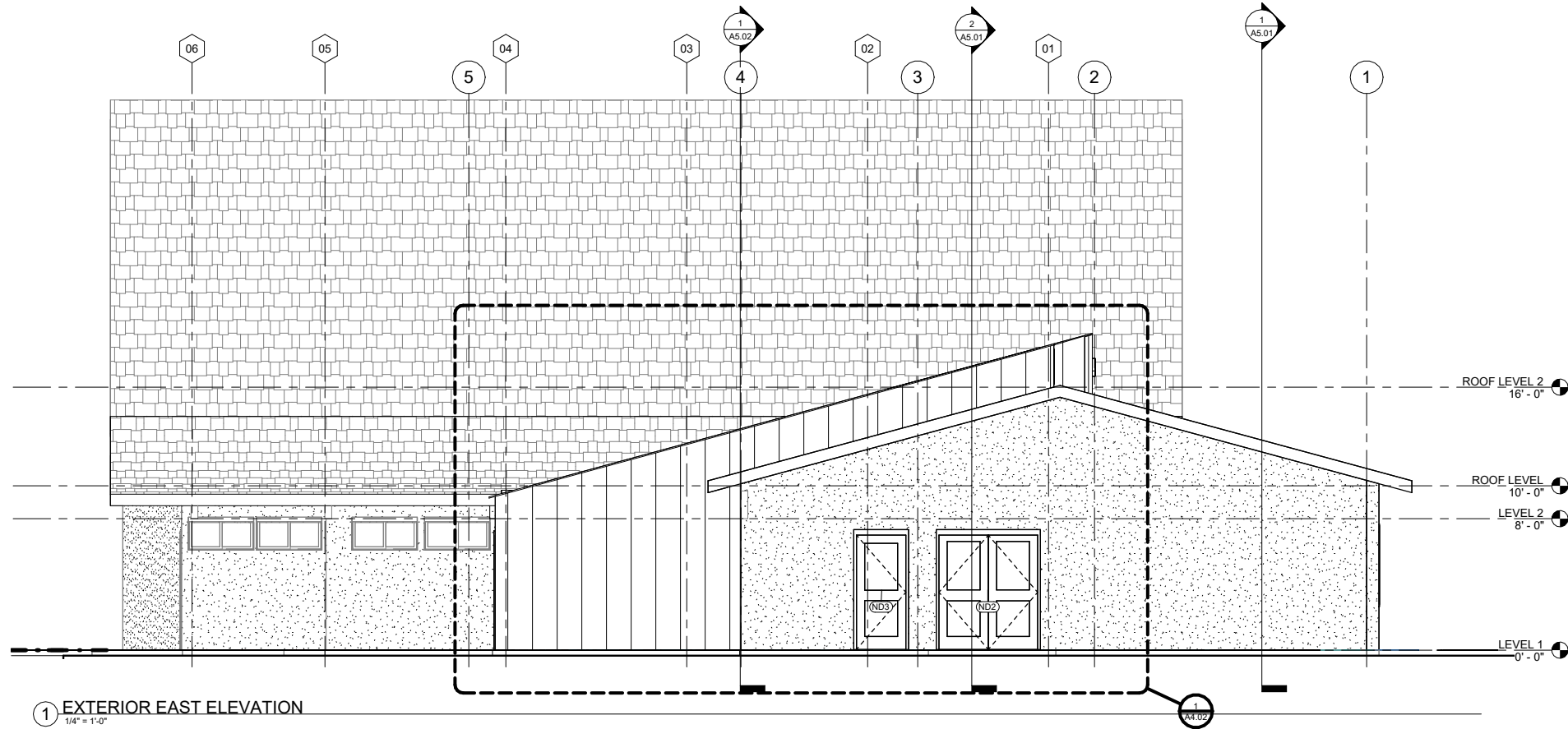
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FRHD Building Expansion
Preliminary Plans

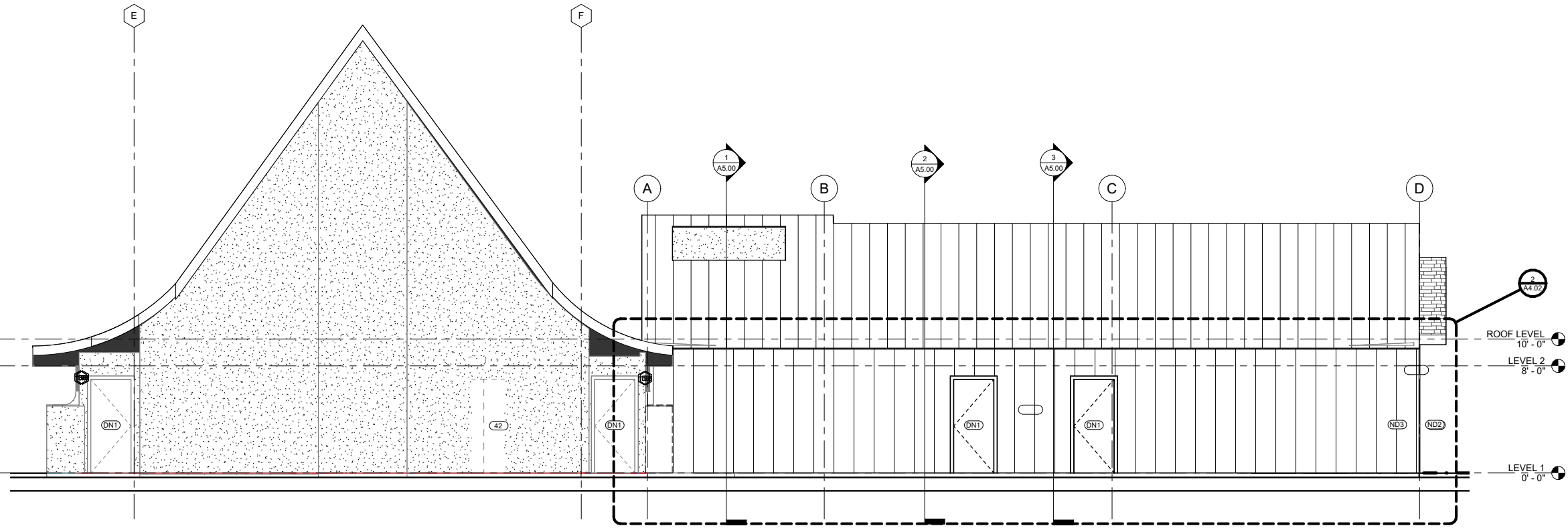
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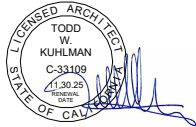
1 EXTERIOR EAST ELEVATION
1/4" = 1'-0"



3 EXTERIOR SOUTH ELEVATION
1/4" = 1'-0"

ELEVATIONS KEYNOTES:

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 - DESIGN DEVELOPMENT
 - ENGINEERING
 - BIRSET
 - CONSTRUCTION SET
 - SUBMITTAL DOCUMENT

DATE: _____ REVISION: _____

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SCALE: 1/4" = 1'-0"
JOB NUMBER: 200##

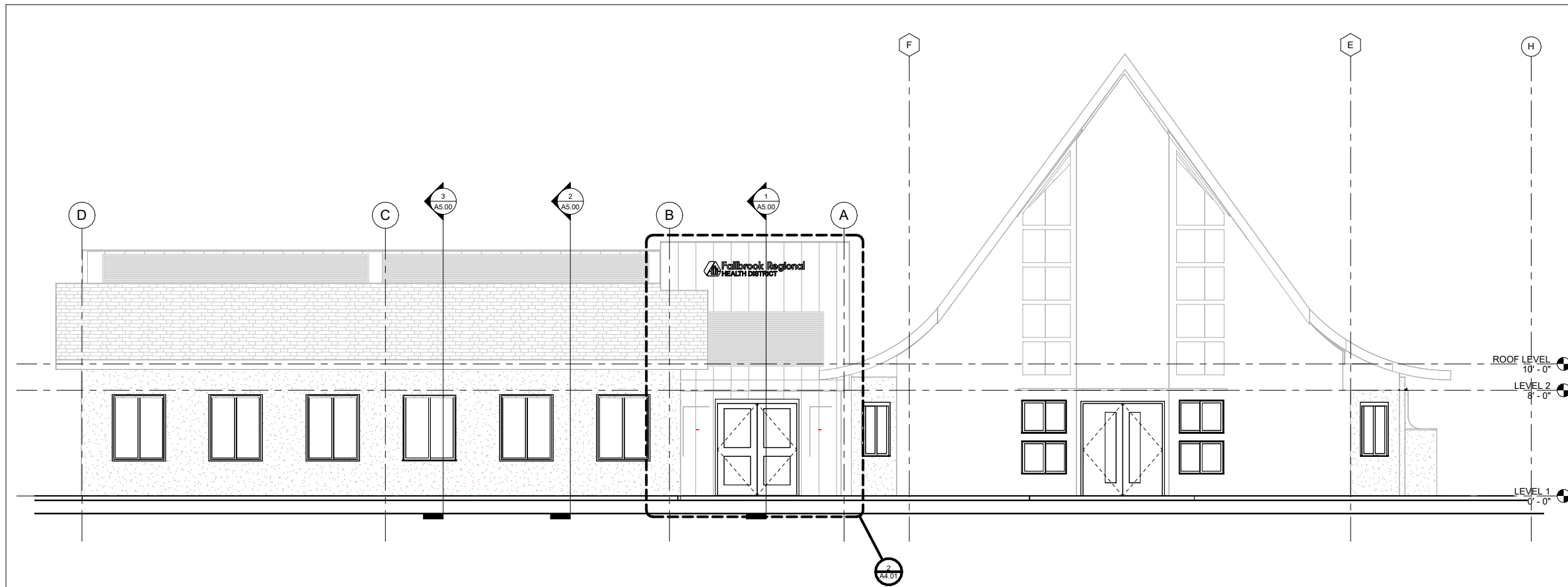
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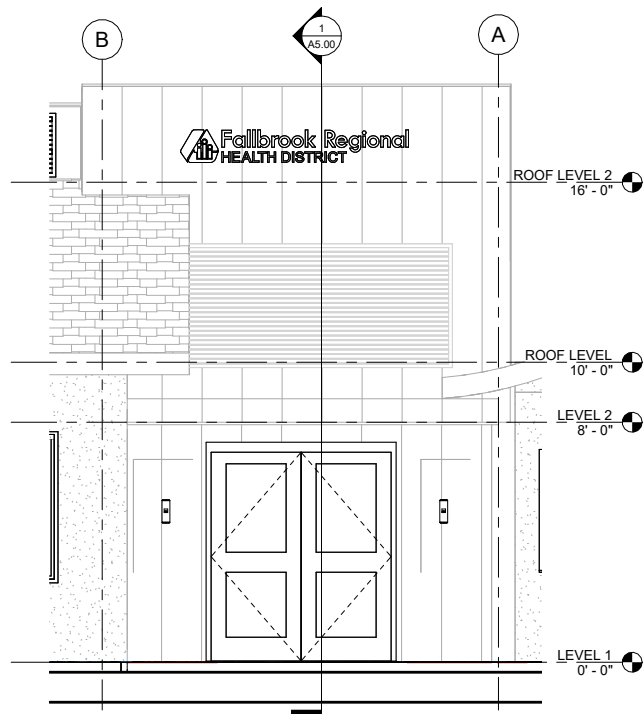
FRHD Building Expansion
Preliminary Plans

8/13/2024 12:41:14 PM

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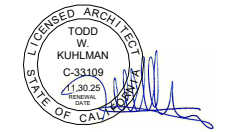
1 EXTERIOR NORTH ELEVATION
1/4" = 1'-0"



2 ENLARGED EXTERIOR NORTH ELEVATION - ENTRY
3/8" = 1'-0"

ELEVATIONS KEYNOTES:

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DATE	REVISION NAME

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JOB NUMBER: 200##

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SHEET NUMBER:

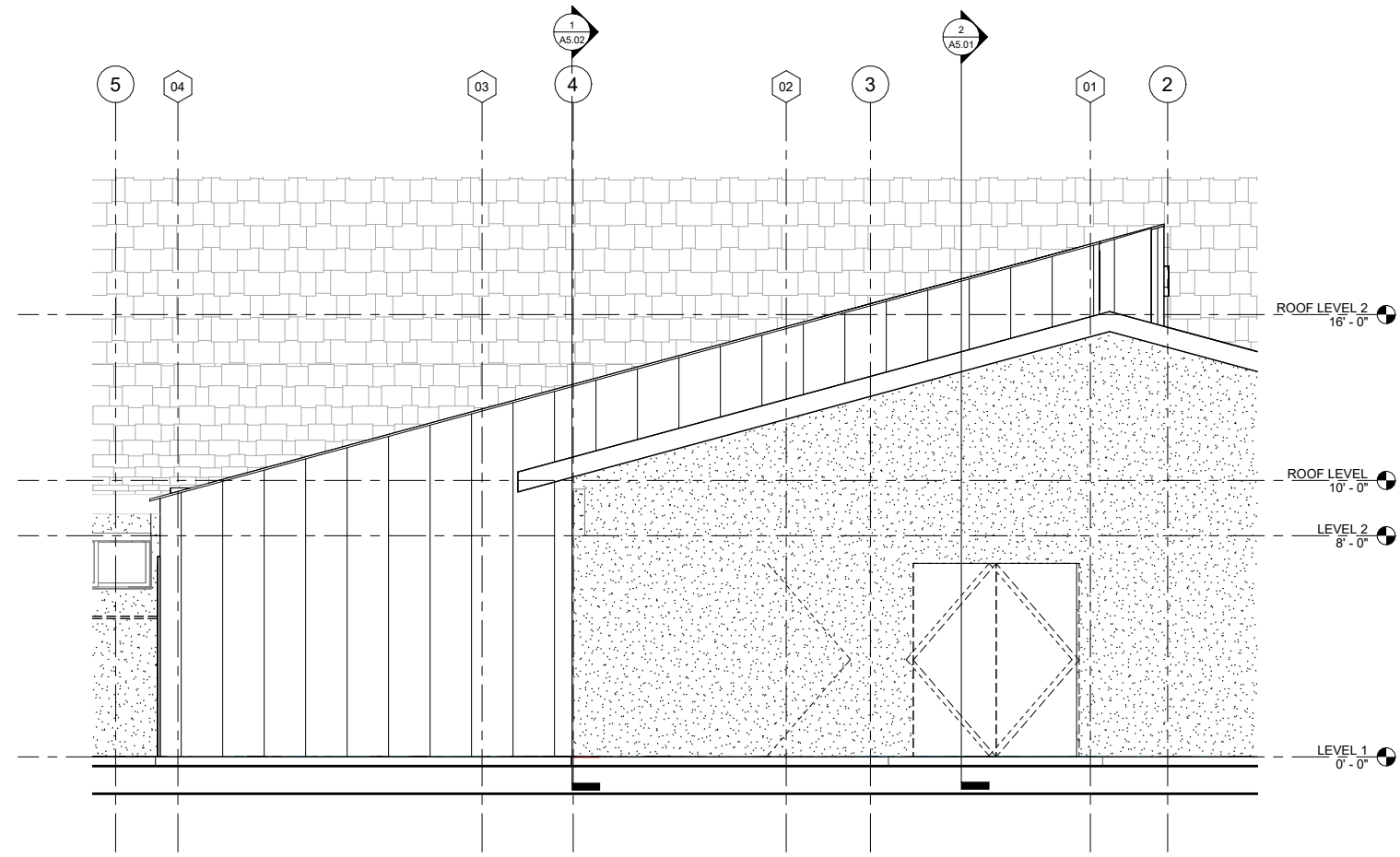
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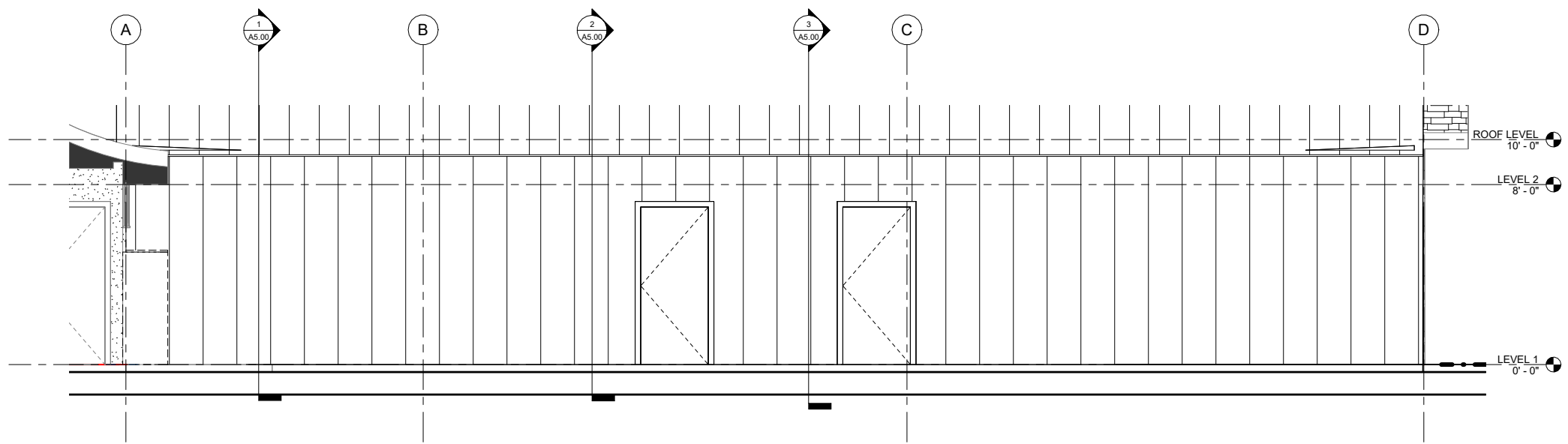
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1 ENLARGED EXTERIOR EAST
ELEVATION - AREA OF WORK
3/8" = 1'-0"

ELEVATIONS KEYNOTES:

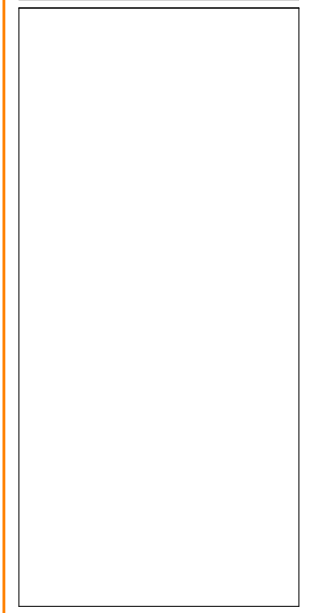


2 ENLARGED EXTERIOR SOUTH
ELEVATION - AREA OF WORK 2
3/8" = 1'-0"

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DATE	REVISION NAME

SCALE: 3/8" = 1'-0"
JOB NUMBER: 200##

SHEET TYPE:
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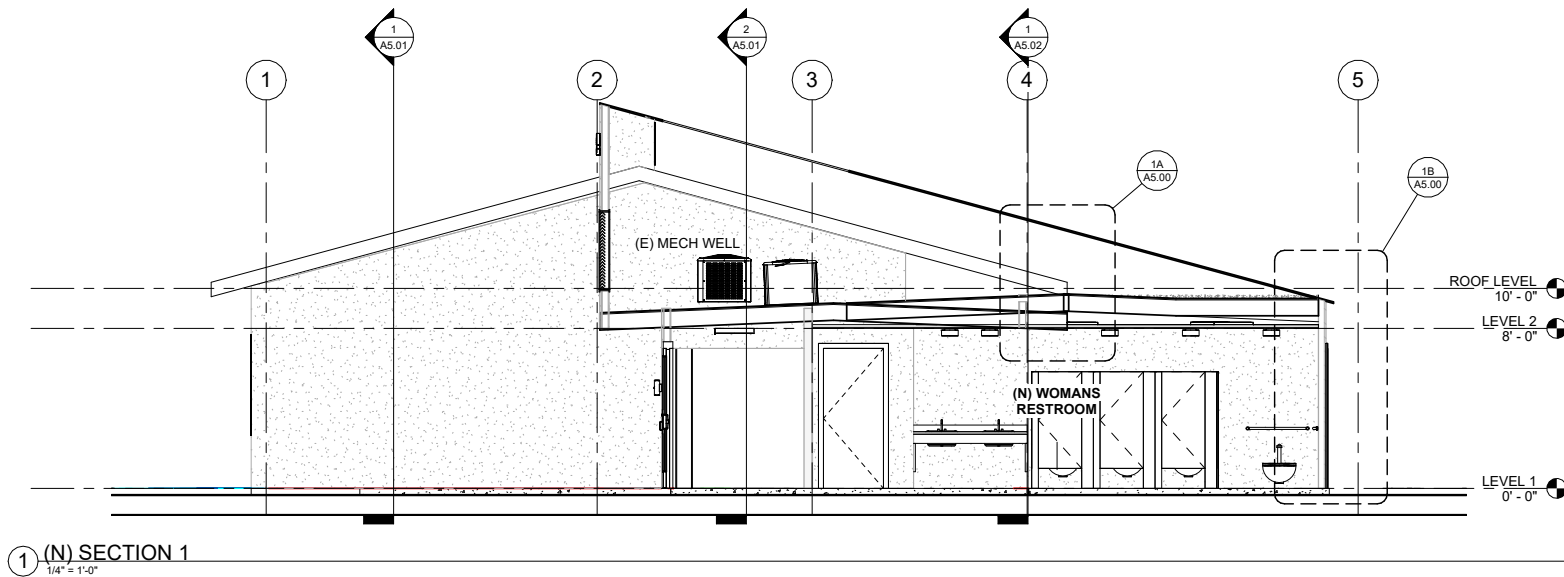
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FRHD Building Expansion
Preliminary Plans

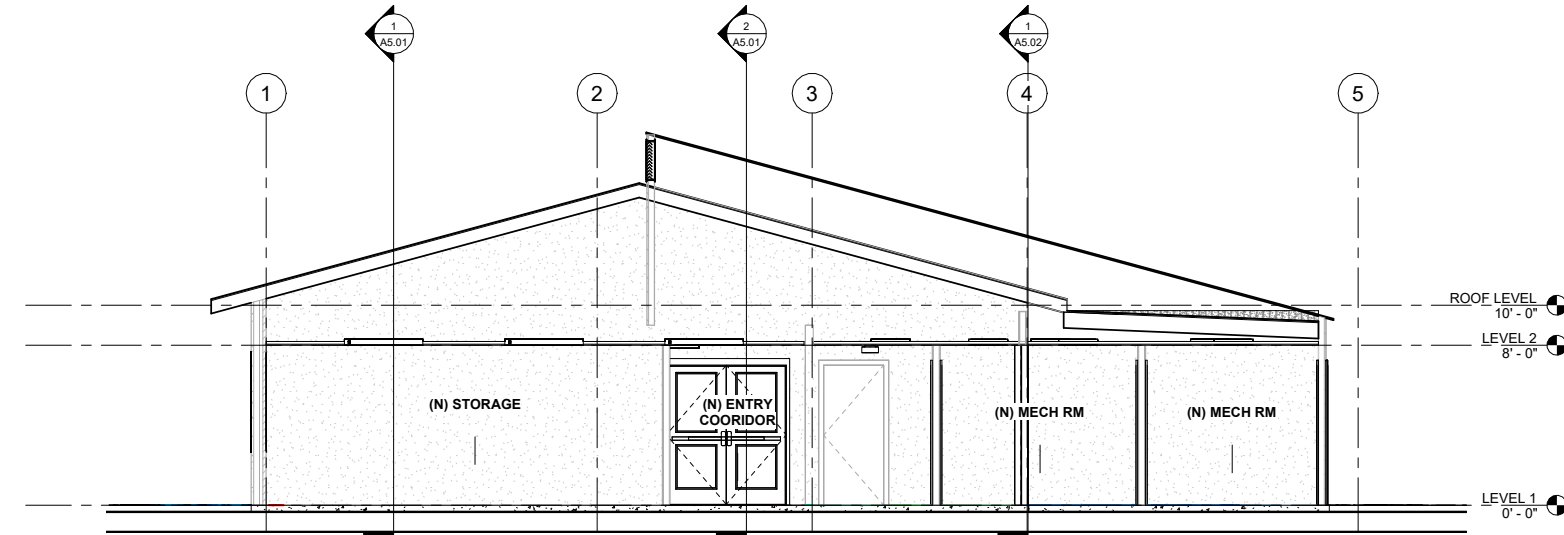
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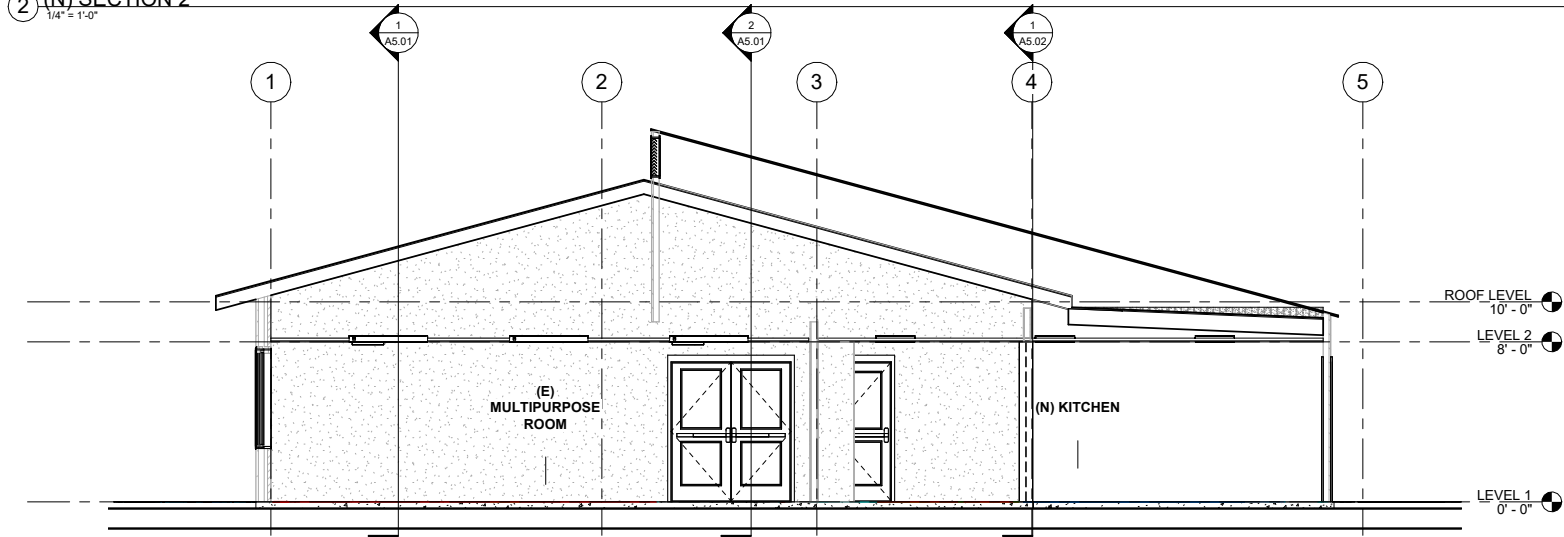
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① (N) SECTION 1
1/4" = 1'-0"

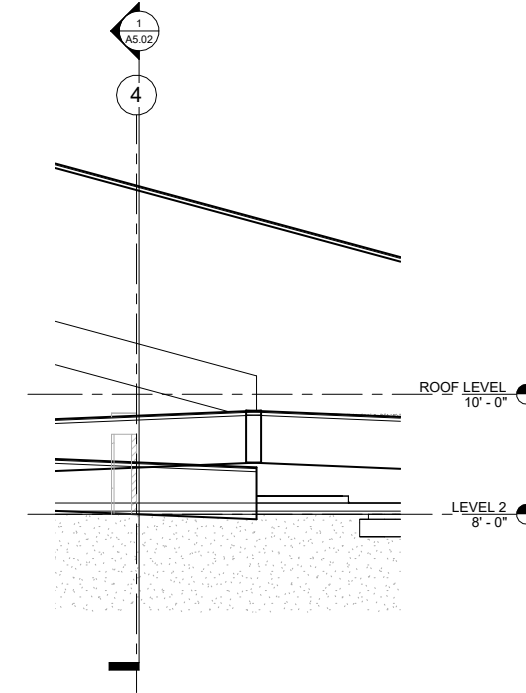


② (N) SECTION 2
1/4" = 1'-0"

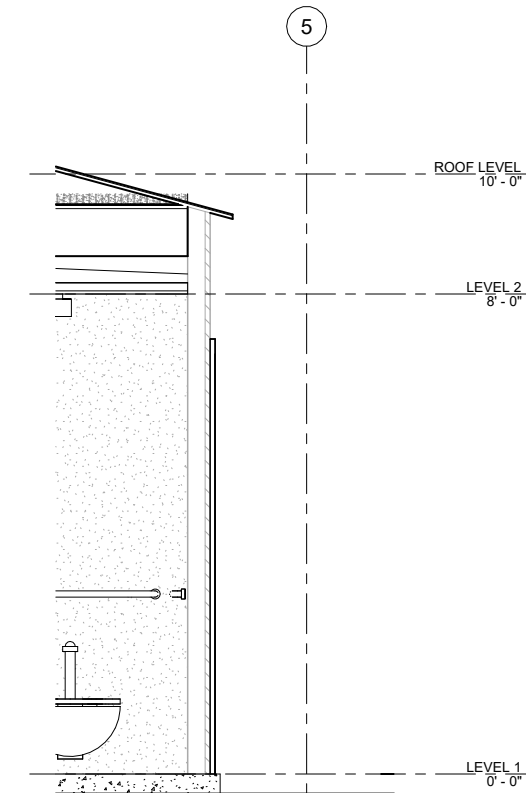


③ (N) SECTION 3
1/4" = 1'-0"

SECTION KEYNOTES:



①A ENLARGED (N) SECTION 1 DETAIL A
3/4" = 1'-0"



①B ENLARGED (N) SECTION 1 DETAIL B
3/4" = 1'-0"

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1.30.25
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01.03.2024	<input checked="" type="checkbox"/> SUBMITTAL DOCUMENT

DATE	REVISION NAME

SCALE: As indicated
JOB NUMBER: 200##
SHEET TITLE:
SECTIONS TRANSVERSE

SHEET NUMBER:
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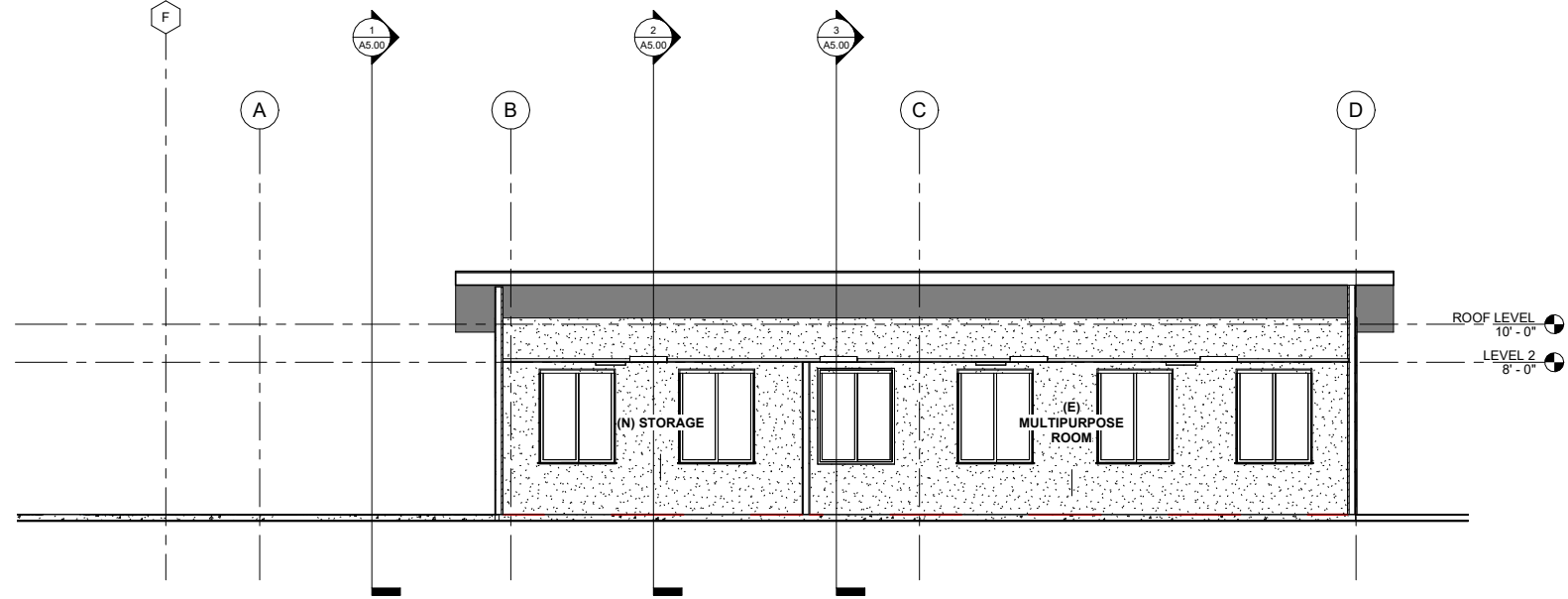
FRHD Building Expansion
Preliminary Plans

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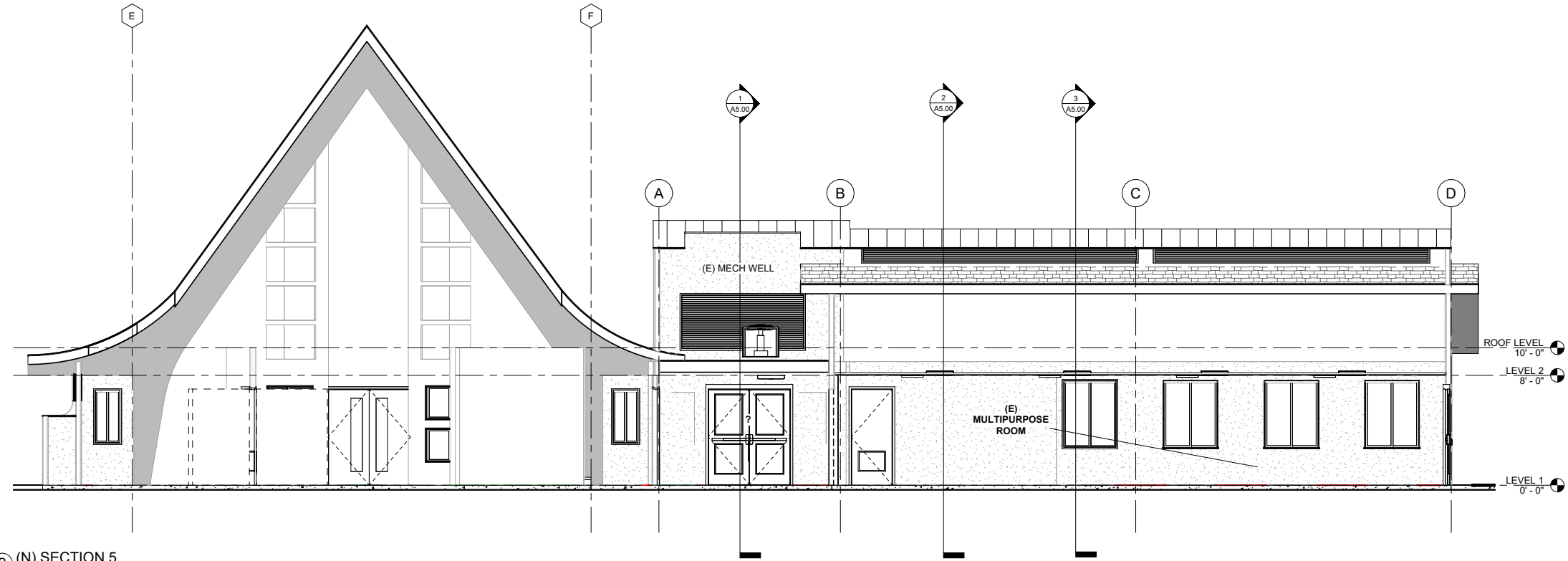
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SECTIONS KEYNOTES:

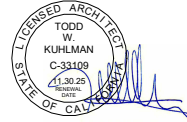


1 (N) SECTION 4
1/4" = 1'-0"



2 (N) SECTION 5
1/4" = 1'-0"

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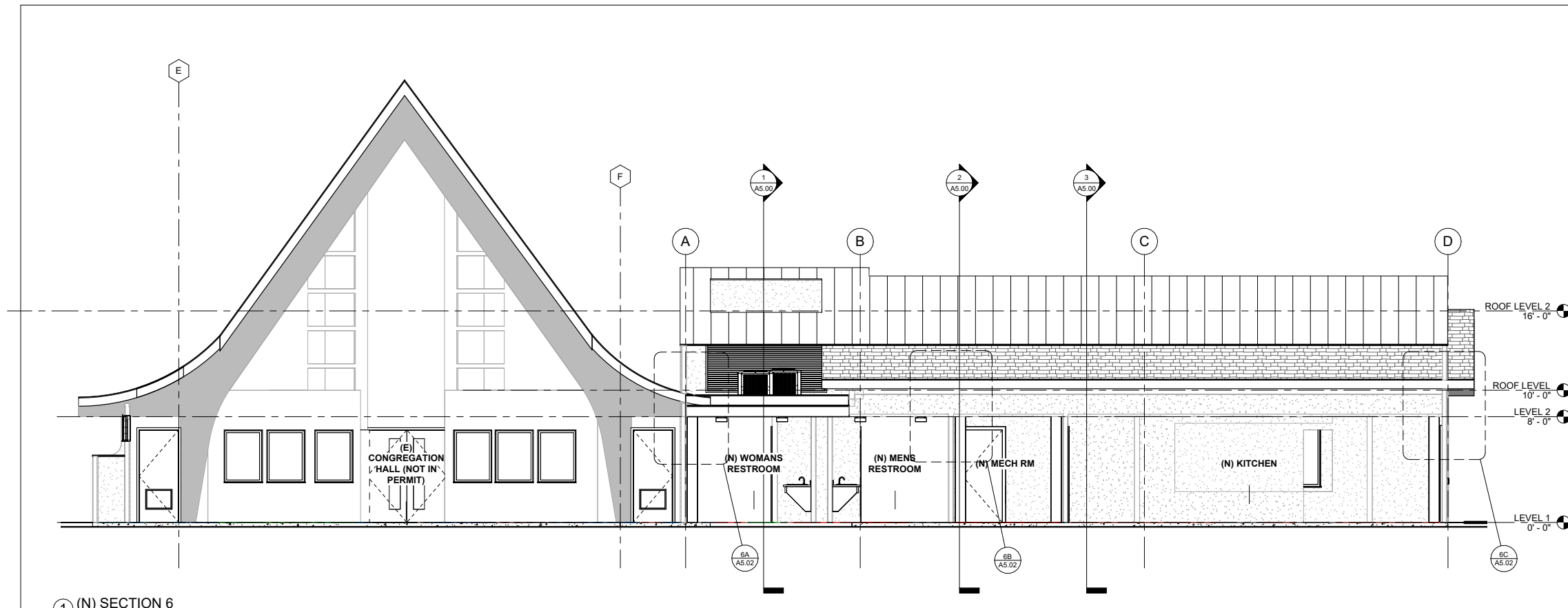
DATE	REVISION NAME

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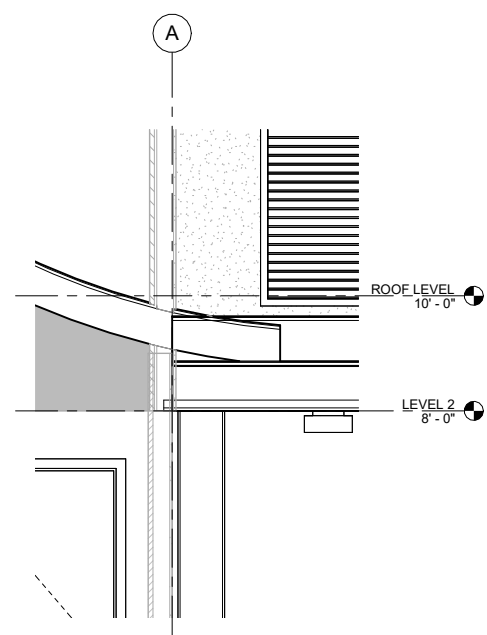
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FRHD Building Expansion
Preliminary Plans

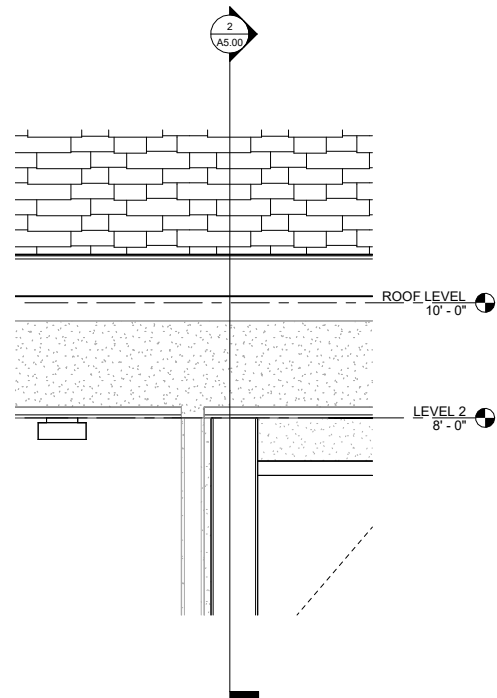
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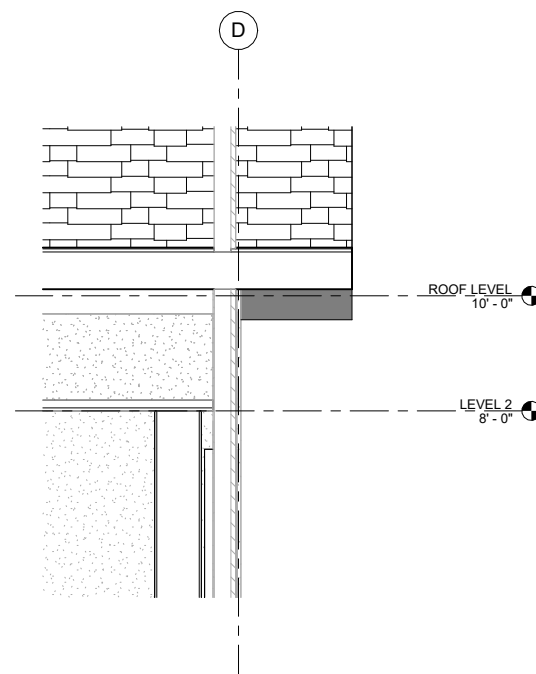
1 (N) SECTION 6
1/4" = 1'-0"



6A ENLARGED (N) SECTION 6 DETAIL A
3/4" = 1'-0"



6B ENLARGED (N) SECTION 6 DETAIL B
3/4" = 1'-0"



6C ENLARGED (N) SECTION 6 DETAIL C
3/4" = 1'-0"

SECTIONS KEYNOTES:

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SCALE: As indicated
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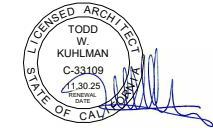
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FRHD Building Expansion
 Preliminary Plans

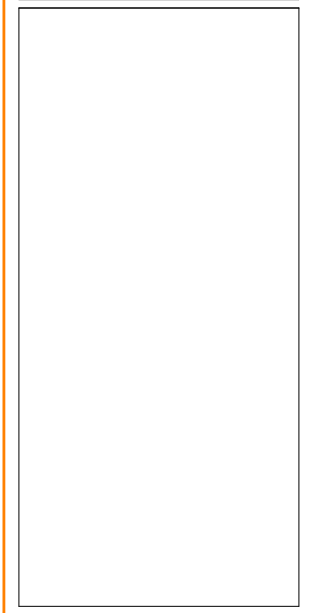
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DOOR & WINDOWS TYPES

SHEET NUMBER:
A6.00


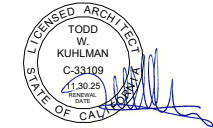
FRHD Building Expansion
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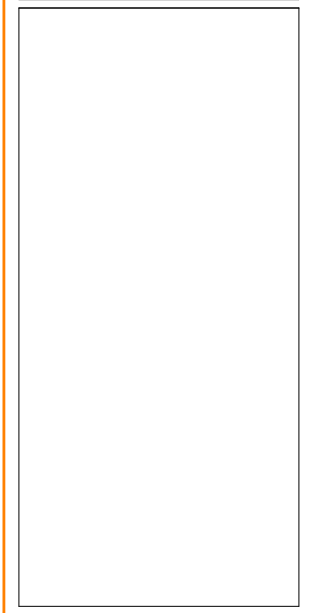
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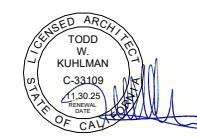
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EXT WALLS.

SHEET NUMBER:
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FRHD Building Expansion
Preliminary Plans
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- R/SET
- CONSTRUCTION SET
- 01.03.2024 SUBMITTAL DOCUMENT

DATE	REVISION NAME

SCALE:
JOB NUMBER: 200##

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WALL DETAILS & SECTIONS

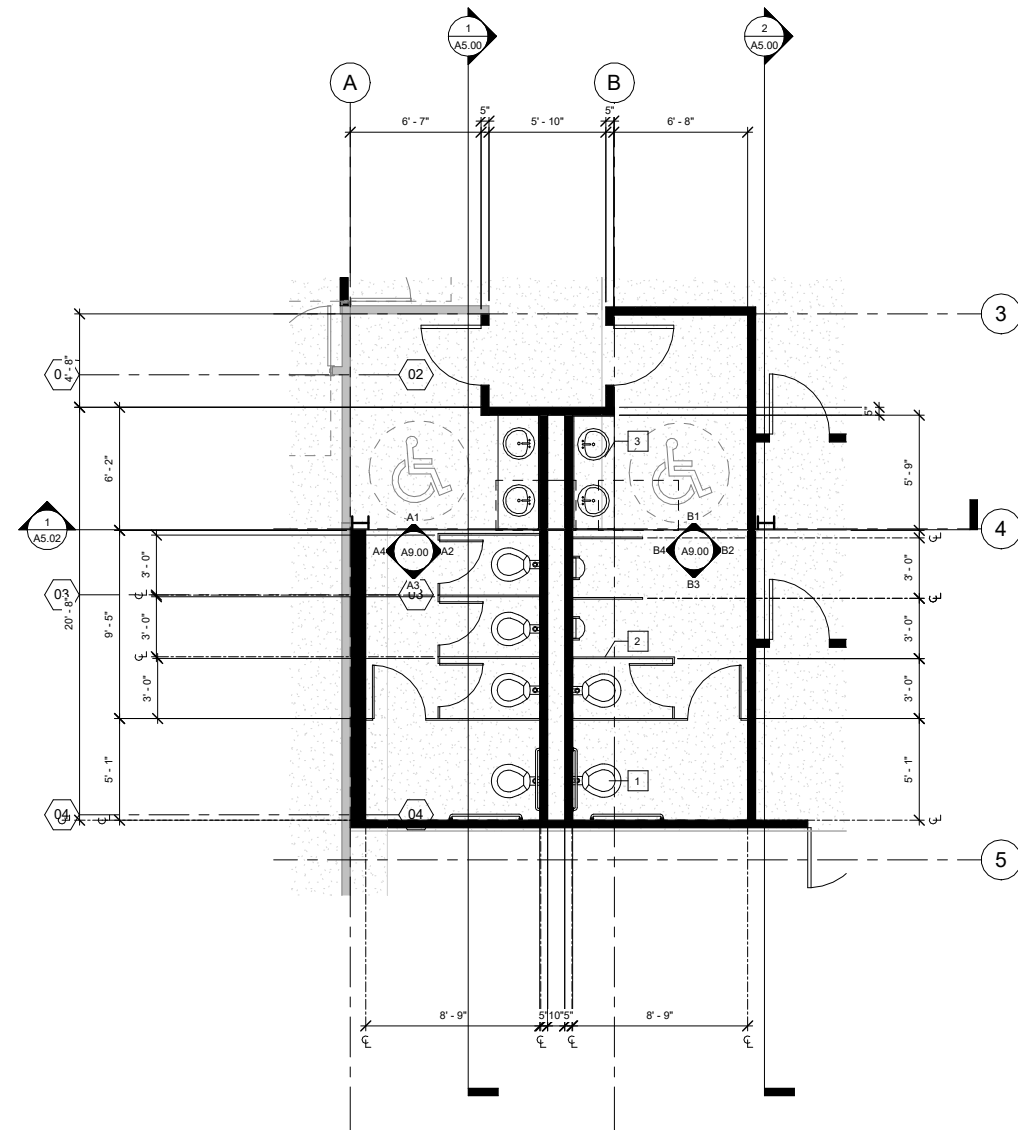
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FRHD Building Expansion
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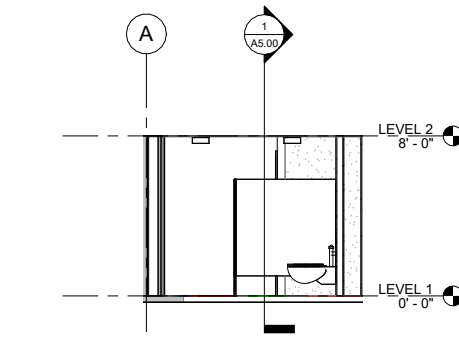
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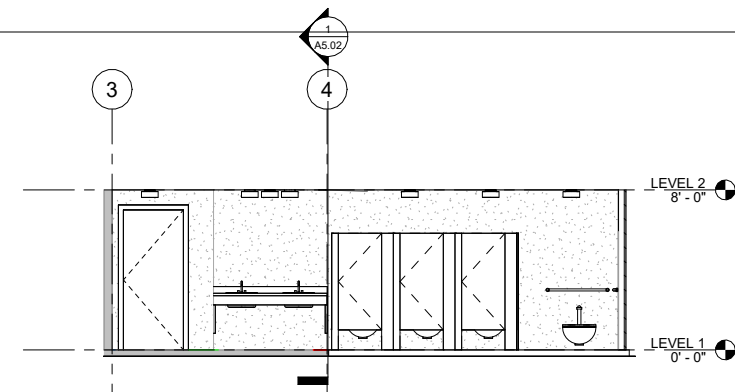
1 ENLARGED LEVEL 1 - (N) RESTROOM
1/4" = 1'-0"

ENLARGED FLOOR PLAN DETAIL NOTES:

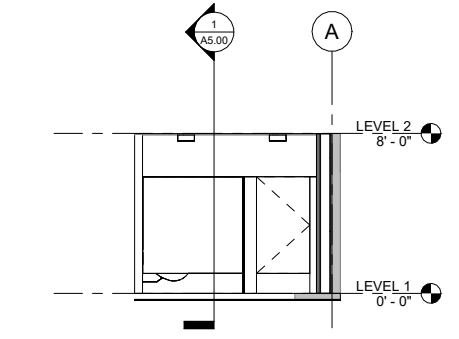
- 1 ADA TOILETS
- 2 BATHROOM STALLS
- 3 SINK AND VANITY



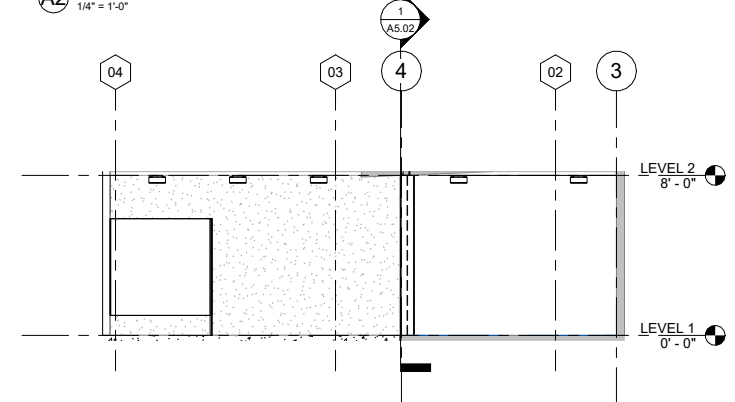
A1 WOMANS RESTROOM - INTERIOR ELEVATION NORTH
1/4" = 1'-0"



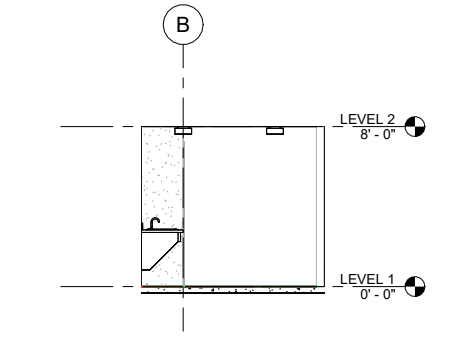
A2 WOMANS RESTROOM - INTERIOR ELEVATION EAST
1/4" = 1'-0"



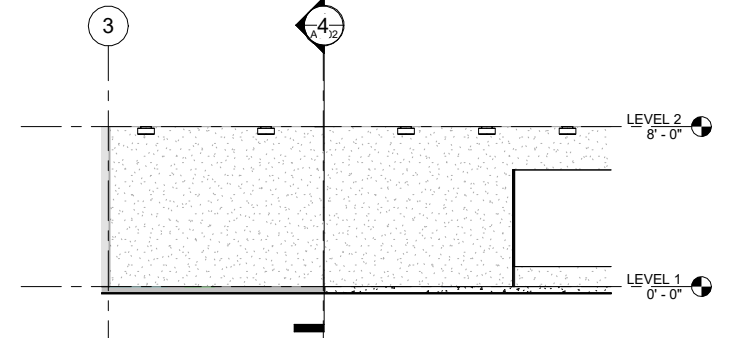
A3 WOMANS RESTROOM - INTERIOR ELEVATION SOUTH
1/4" = 1'-0"



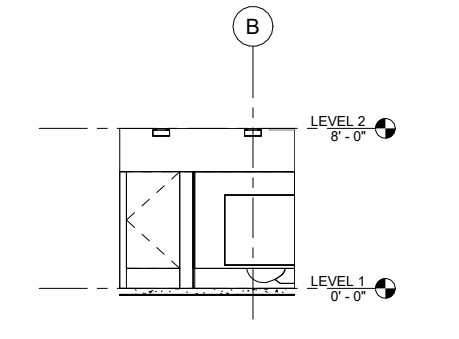
A4 WOMANS RESTROOM - INTERIOR ELEVATION WEST
1/4" = 1'-0"



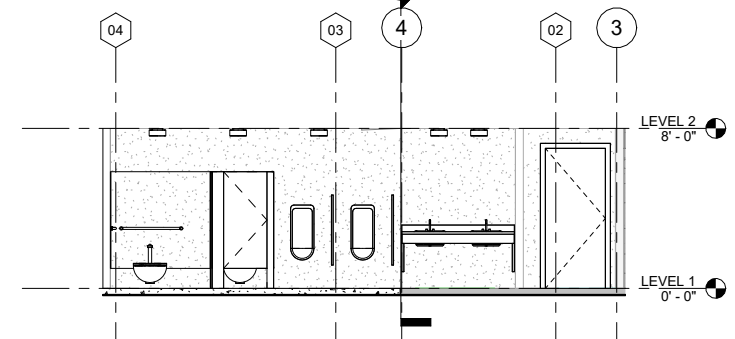
B1 MENS RESTROOM - INTERIOR ELEVATION NORTH
1/4" = 1'-0"



B2 MENS RESTROOM - INTERIOR ELEVATION EAST
1/4" = 1'-0"



B3 MENS RESTROOM - INTERIOR ELEVATION SOUTH
1/4" = 1'-0"



B4 MENS RESTROOM - INTERIOR ELEVATION WEST
1/4" = 1'-0"

ARCHITECT
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1998-2025
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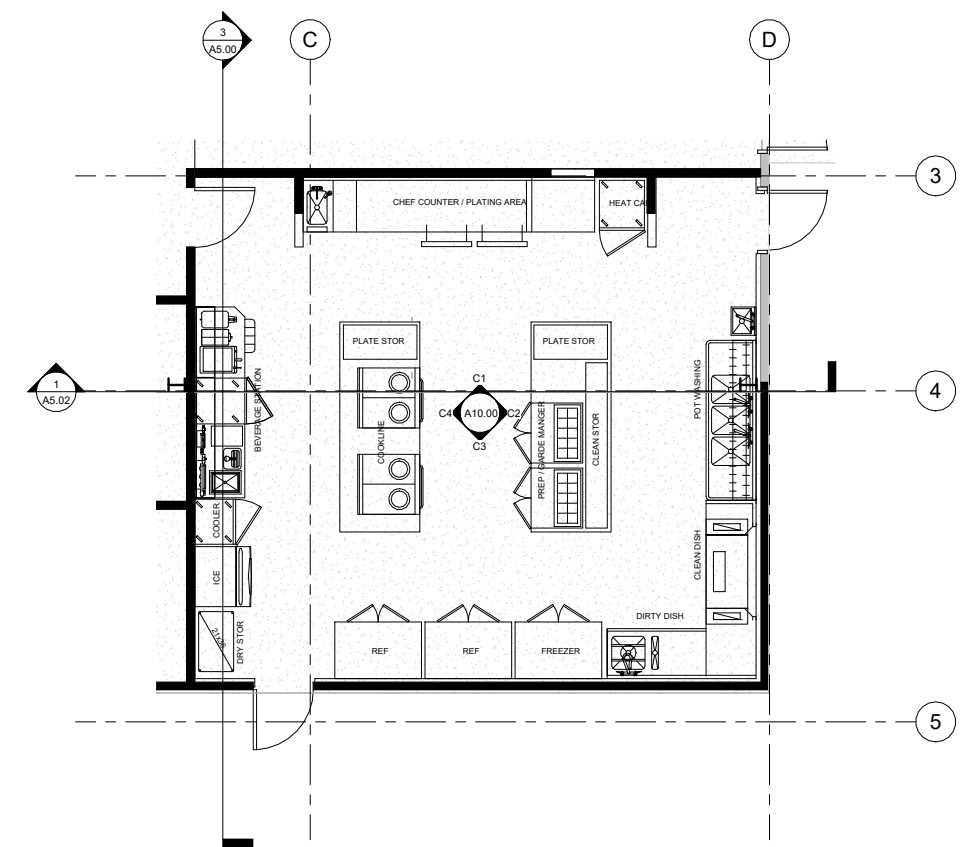
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01.03.2024	PROGRESS PRINT
	SCHEMATIC DESIGN
	DESIGN DEVELOPMENT
	ENGINEERING
	BID SET
	CONSTRUCTION SET
	SUBMITTAL DOCUMENT

DATE	REVISION NAME

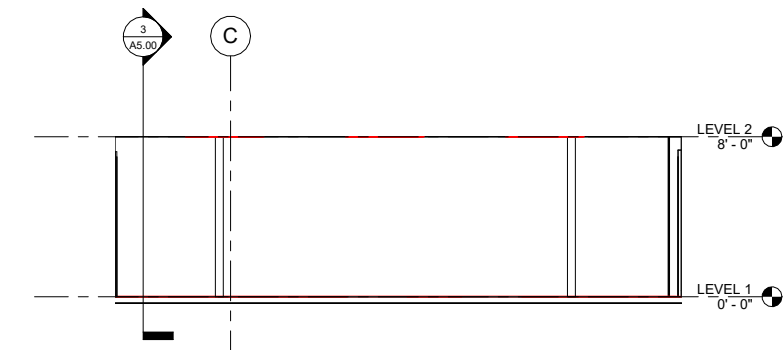
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JOB NUMBER: 200##
SHEET TITLE:
ENLARGED RESTROOM PLAN & ELEVATION

SHEET NUMBER:
A9.00

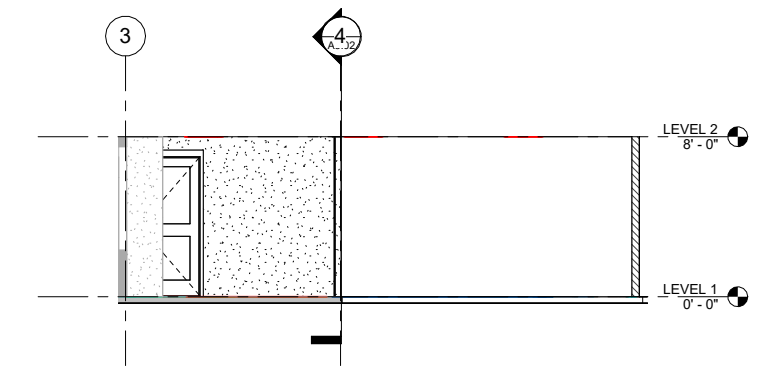
FRHD Building Expansion
Preliminary Plans
8/13/2024 12:41:43 PM



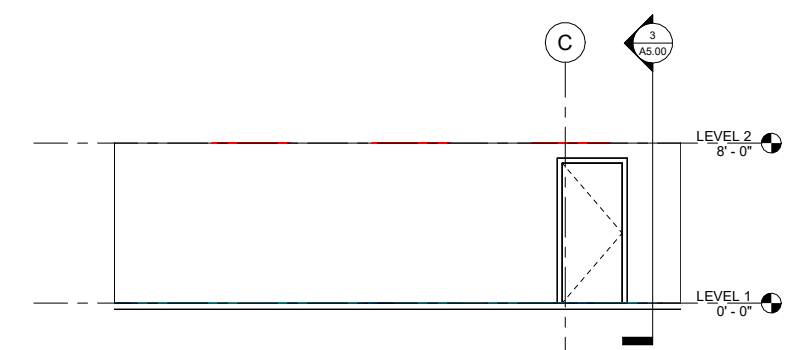
1 ENLARGED LEVEL 1 - (N) KITCHEN
 1/4" = 1'-0"



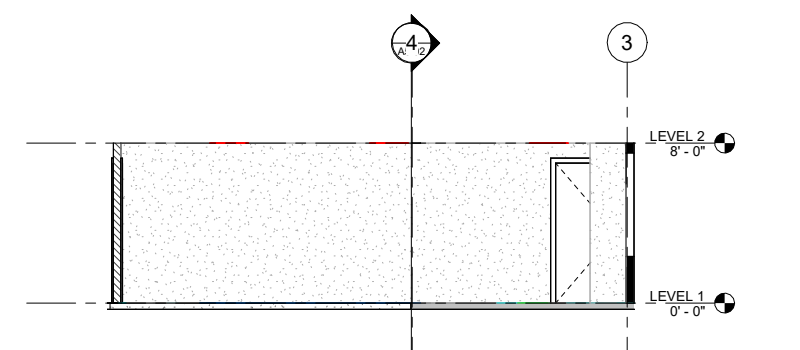
KITCHEN - INTERIOR ELEVATION NORTH
 C1 1/4" = 1'-0"



C2 KITCHEN - INTERIOR ELEVATION EAST
 1/4" = 1'-0"



KITCHEN - INTERIOR ELEVATION SOUTH
 C3 1/4" = 1'-0"



C4 KITCHEN - INTERIOR ELEVATION WEST
 1/4" = 1'-0"

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DATE	PROGRESS PRINT
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DATE	REVISION NAME

SCALE: 1/4" = 1'-0"
 JOB NUMBER: 200##

SHEET TITLE:
ENLARGED KITCHEN PLAN & ELEVATION

SHEET NUMBER:
A10.00

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