

PLAN CHECK DEFICIENCIES SHEET

Your submitted plans show the following items must be either added, changed or clarified in order for the plans to be in compliance with existing regulations.

You may correct both sets of the submitted plans and resubmit them for recheck or, where the items listed below are minor in nature as determined by the plan checker, you may receive your building permit if you indicate you:

- (1) Understand the corrective action that is required,
- (2) You agree to incorporate the corrections in the construction,
- (3) You will incorporate this sheet in all sets of plans used to govern the construction.

Please return this check sheet with corrected plans and indicate on which sheet of the plans each of the corrections has been made.

CORRECTIONS ARE MINOR    
 SUBMIT CORRECTED PLANS FOR RECHECK AT COUNTER    
 SUBMIT CORRECTED PLANS TO BE LOGGED IN FOR RECHECK    
 DATE 1/2/78 / PLAN CHECKER [Signature]

OWNER: ST STEPHEN CATHEDRAL     NEEDED ADDITIONS, CHANGES OR CLARIFICATIONS:

ALL ~~THE~~ <sup>THE</sup> ~~FOR~~ <sup>OPENING</sup> ~~IS~~ <sup>PROBLEM</sup>, ALL THE WAY UP TO THE CEILING?

ALL SPECIFY THE USE OF ALL STRUCTURES ON PLOT PLAN.

ALL PROVIDE COMPLETE HANDICAPPED FACILITIES TO SEE ATTACHED AND INDICATE ON PLANS THAT ARE APPROPRIATE APPLICABLE.

ALL SUBMIT 2 SETS OF TRUSS DETAILS. ON EACH SET OF THE PLANS AND DETAILS MUST BE SIGNED BY THE ENGINEER OR ARCHITECT.

ALL THE ROOFING MATERIALS MUST BE FIRE RETARDANT.

ALL MIN. <sup>ROOF</sup> SLOPE FOR ASPHALT SHINGLES IS 3:12

ALL COMPLETE CALCS FOR THE LAMINATED

I do not desire to correct the plans and resubmit them and I attest that (1) I understand the corrective action that is required, (2) I agree to incorporate the corrections in the construction and (3) I will incorporate this sheet in all sets of plans used to govern construction.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
(Owner or Agent of the Owner)

Plan Check No. VB 25132     Witness: \_\_\_\_\_ Date: \_\_\_\_\_  
Sheet 1 of 2     (Department Employee)

ORIGINAL TO PERMITTEE    
 ATTACH TO INSP. COPY    
 FILE WITH PLANS    
 \_\_\_\_\_

## PLAN CHECK DEFICIENCIES SHEET

BMS INCLUDING THE SUPPORTS & SUPPORTS  
TIES

✓ ~~PL~~ SHOW CALCS FOR THE STUDS OVER 20'  
AND THE 3" DECKING

✓ ~~PL~~ SUBMIT ROUGH GRADING APPROVAL.

✓ ~~PL~~ WELDS ARE WELDS TO BE SHOP OR  
FIELD? IF FIELD COMPLETE THE NO

ATTACHED FORM #6 FOR SPECIAL INSPECTION

✓ ~~PL~~ OBTAIN THE FF. FINAL APPROVAL.

DEPARTMENT OF TRANSPORTATION

FIRE DEPARTMENT.

✓ ~~PL~~ IS MEZZANINE INCLUDED IN THE PERMIT?

✓ ~~PL~~ SEE THE ATTACHED PLANNING CORR. LIST.

✓ ~~PL~~ PRIOR ISSUANCE OF BLP6 PERMIT,

PLUMBING & ELECTRICAL PLAN CHECK BE  
APPROVED.

✓ ~~PL~~ SEE ATTACHED EXIT DOOR & LOCK  
REQS FORM # 215 FOR REQTS - INDICATE  
ON PLANS THAT ARE APPLICABLE.

✓ ~~PL~~ THE CORRIDOR CONNECTING THE TWO BLDGS  
MUST BE ONE HOUR RATED. SEE

SECTION 3304 OF 73 UBC FOR OTHER

REQT. CEILING MUST BE ONE HOUR RATED TOO

IT IS SEE PAGE A-2 ROOM FINISH SCHEDULE

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  SUBMIT CORRECTED PLANS FOR RECHECK AT COUNTER     
  SUBMIT CORRECTED PLANS TO BE LOGGED IN FOR RECHECK     
 \_\_\_\_\_ DATE \_\_\_\_\_ PLANCHECKER

OWNER: St. Stephen's Lutheran NEEDED ADDITIONS, CHANGES OR CLARIFICATIONS:

1. Submit verification to LUER that following requirements of the Special Use Permit have been complied with:

A-3-a; A-3-b; A-3-c; A-3-d;

involving street dedication and improvements

A-4 involving removal of vegetation restricting sight distance.

MClad 118178

*[Handwritten signatures and dates: 1/29/78]*

I do not desire to correct the plans and resubmit them and I attest that (1) I understand the corrective action that is required, (2) I agree to incorporate the corrections in the construction and (3) I will incorporate this sheet in all sets of plans used to govern construction.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
(Owner or Agent of the Owner)

Plan Check No. V B 21513  
Sheet \_\_\_\_\_ of \_\_\_\_\_

Witness: \_\_\_\_\_ Date: \_\_\_\_\_  
(Department Employee)

ORIGINAL TO PERMITTEE     
  ATTACH TO INSP. COPY     
  FILE WITH PLANS     
  \_\_\_\_\_



# COUNTY OF SAN DIEGO



## Department of Land Use & Environmental Regulation

### Community Services Agency

200 L East Main (S177)  
El Cajon, Calif. 92020  
579-4511: (Zenith 7-1398)

837 Williamston Street (N144)  
Vista, California 92083  
(714) 726-7920 (Zenith 7-200)

JAMES J. GILSHIAN  
DIRECTOR

9150 Chesapeake Drive (0173), San Diego, California 92123 Telephone (714) 565-5936 (Zenith 7-0888)

### PLUMBING PLAN CHECK LIST

LOG NO. VB-25132

Please return this check sheet with corrected plans and indicate on which sheet of the plans each of the corrections has been made.

OWNER ST. STEPHEN'S LUTHERAN CHURCH

SITE ADDRESS 1636 E. MISSION RD., FALLBROOK

Two sets of plans are required for the following checked items:

1. Submit a complete layout for the waste and vent system to the sewer connection.

Submit a water piping plan including pipe sizing along with calculations, total distance, elevation, water pressure, etc. *(SEE ITEM 8 BELOW)*

3. Submit gas piping plan, including pipe sizing and B.T.U. loads. *(IF APPLICABLE)*

Show locations of sewer connection, gas meter, and water meter on plot plan. *OK*

Show how trap seal is to be maintained on floor drains. *SEE ITEM 8 BELOW*

6. Indicate type of material to be used in layout. *(SEE ALSO # 9 BELOW) (PIPING MATERIAL)*

Remarks: WASTE & VENT SYSTEM: MINIMUM VENT DIAMETER  
REQUIRED IS 4" EQUIVALENT FOR BUILDING DRAIN  
SYSTEM.

MEN'S WASH ROOM WILL REQUIRE A FLOOR DRAIN - SHOW ON  
PLANS. IF PRIMING OF FLOOR DRAINS IS TO BE BY

INDIRECTING NEAREST LAVATORY - SHOW ON PLANS, ALSO.

PIPING MATERIAL: SPECIFICATIONS SHOW UNAPPROVED PLASTIC PIPING  
IN SEWER AND INSIDE WATER SYSTEM. MUST CORRECT ACCORDINGLY.

Checked by A.M. Baby Date 1/10/78

Before issuance of a plumbing permit, the information, revisions, and corrections circled above must be shown on the plans.

Please complete all corrections and return.

RECHECK #1 - 1/26/78

RECHECK #2

2/23/78 AMBaby

# COUNTY OF SAN DIEGO



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### Community Services Agency

200-L East Main Street (S177)  
El Cajon, California 92020  
(714) 579-4511 (Zenith 7-1398)  
837 Williamton Street (N144)  
Vista, California 92083  
(714) 726-7920 (Zenith 7-2001)

JAMES J. GILSHIAN  
DIRECTOR

9150 Chesapeake Drive (0173), San Diego, California 92123 Telephone (714) 565-5936 (Zenith 7-0888)

#### ELECTRICAL PLAN CHECK LIST

OWNER: ST STEVEN EV LUTHERAN CHURCH LOG NO. 1325132

SITE ADDRESS: 1636 E MISSION RD

Two copies of a single line electrical diagram and load calculations must be submitted for approval prior to issuance of permits for electrical installations of more than 200 amperes (pumps excepted).

All wiring shall comply with the 1975 N.E.C.

The diagram need not be drawn to scale.

The following must be shown on the diagram:

1. Wiring method employed.
2. Sizes of all conductors, switches, circuit breakers, fuses and conduits.
3. Approximate length of service and feeders.
4. Provide plot plan showing services, all panel locations, circuit arrangement and load distribution on panel buses.

5. Remarks ① THE SERVICE GROUND IS UNDERSIZED (MIN. 1/0 CU)  
② FEEDER TO PANEL "A" IS UNDERSIZED (MIN IS 3/0 CU THW) 2" CONDUIT

Branch circuits need not be shown.

The installation must be in accordance with the approved plans. Any changes or revisions must be approved by the Building Inspection Department prior to installation.

If the capacity of the proposed or existing electrical service entrance conductors is more than 200 amperes, indicate the location and capacity of the service equipment on the building plans.

CHECKED BY: Wagon

DATE: 1-26-78

Before issuance of an electrical permit, the information, revisions and corrections circled above must be shown on the plans. Please complete all corrections and return.

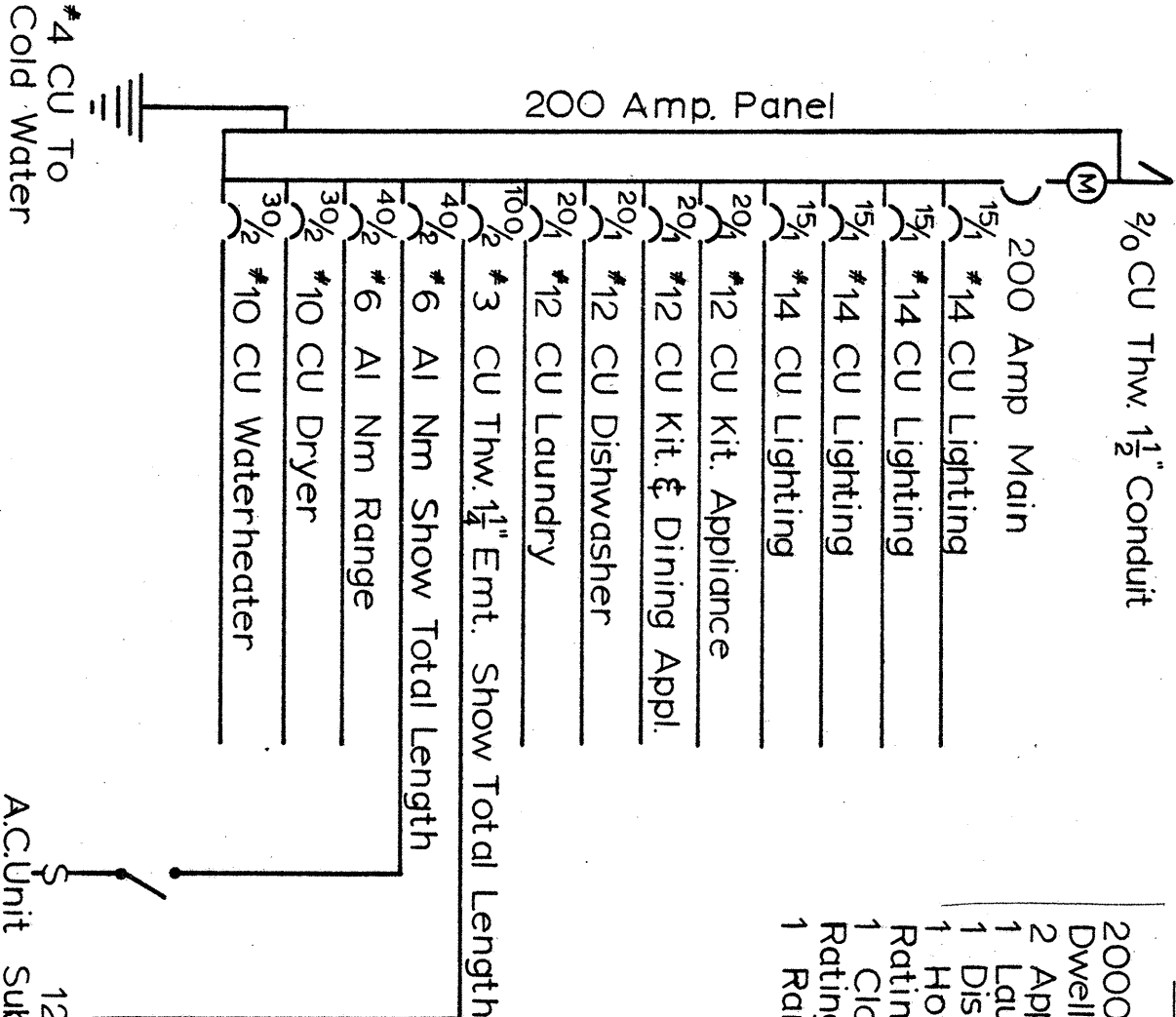
# EXAMPLE of a RESIDENTIAL 200 AMP SERVICE SINGLE LINE DIAGRAM and LOAD CALCULATIONS

SERVICE 115/230 VOLTS 1 Ø

LOAD CALCULATIONS  
AS PER ARTICLE 220 AND SEC. 220-30

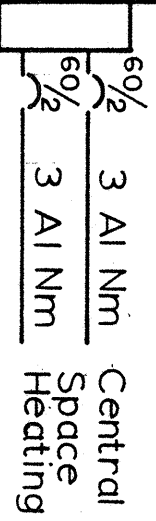
2000 Sq. Ft. of Dwelling x3 Watts. . . . .	6000 WATTS
2 Appliance Circuits 2x1500 . . . . .	3000
1 Laundry Circuit 1500 . . . . .	1500
1 Dishwasher at Name Plate Rating . . . . .	1200
1 Hotwater Heater at Name Plate Rating . . . . .	4500
1 Clothes Dryer at Name Plate Rating, or min. of 5000watts . . . . .	5000
1 Range at Name Plate Rating . . . . .	12000
<b>Sub Total</b>	<b>33,200</b>

200 Amp. Panel



First 10kw. at 100% . . . . . 10,000 WATTS  
 Remainder at 40% 23,200x.40.9,280  
 Central Space Heat  
 \* 22,080 at 65% . . . . . 14,352  
 \* A.C. Unit 7000 at 100% . . . . . Ø  
**Total Watts 33,632**

Amperes =  $\frac{\text{Wattage}}{\text{Volts}} = \frac{33,632}{230} = 146 \text{ Ammps.}$   
 \* AS PER 220-21 & 220-30(5) USE LARGER LOAD



125 Amp (Load is Subdivided as per 424-221b))  
 A.C. Unit Sub Panel

EXIT DOOR 3 AND LOCK REQUIREMENTS ON THE GROUND FLOOR OF ONE-STORY BUILDINGS

Occupancy	Description	Occupant Load	Minimum Number of Exits <sup>5</sup>	Door Must be Operable w/o Special Knowledge	Panic Hardware Required	Doors Req'd to Swing in Direction of Exit	Double Acting Doors Permitted	Revolving Doors and Sliding Doors Permitted	Exit Lighting Required	Exit Signs & Light Req'd to be on Separate Circuit	Power for Signs & Exit Lights is Required from a Separate Circuit
B-2	Assembly Building, No Stage, O.L. 300 or more	300-499	2	Yes 1,6	Yes 1	Yes	No	No	Yes	Yes	No
		500-999	3								Yes 4
B-3	Assembly Building, No Stage, O.L. Less than 300 & Schools Less than 12 Hrs. per Week & 4 Hrs. per Day	50-99	2	Yes 1	No	Yes	Yes	No	Yes	Yes	No
		100-299		Yes 1,6	Yes 1		No				No
D-3	Nursing Homes for Ambulatory Patients & Homes for Children over 5 Yrs. Old (over 5 persons)	1-9	Min of 2 from Each Room	No	No	Yes	No	No	Yes	No	Yes
		10-49		Yes	No	Yes	No	No	Yes	No	No
		50-99		Yes 1,6	Yes	Yes	No	No	Yes	Yes	No
		100-499			No	Yes	Yes	No	Yes	Yes	No
E-4	Repair Garages	1-9	1	No	No	No	No	Yes	Yes	No	No
		10-29		Yes	No	Yes	No	No	Yes	No	No
		50-99		Yes	No	Yes	No	No	Yes	No	No
		100-499		Yes 2	No	Yes	No	No	Yes	Yes	No
F-2	Offices	1-9	2	No	No	Yes	No	Yes	Yes	Yes	No
		10-29		Yes 2	No	Yes	No	No	Yes	Yes	No
		30-49		Yes 2	No	Yes	No	No	Yes	Yes	No
		50-99		Yes 2	No	Yes	No	No	Yes	Yes	No
H	Stores	1-9	1	No	No	No	Yes	Yes	Yes	Yes	No
		10-49		Yes 2	No	Yes	No	No	Yes	Yes	No
		50-99		Yes 2	No	Yes	No	No	Yes	Yes	No
		100-499		Yes 2	No	Yes	No	No	Yes	Yes	No
H	Apartment Houses and Hotels	1-9	2	Yes	No	Yes	No	No	Yes	Yes	No
		10-49		Yes	No	Yes	No	No	Yes	Yes	No
		50-99		Yes	No	Yes	No	No	Yes	Yes	No
		100-499		Yes	No	Yes	No	No	Yes	Yes	No

FOOTNOTES:  
 1. Main door may have keyed locking device (can be locked only with a key) if a readily visible metallic sign with 1" high letters stating "This Door Must Remain Unlocked During Business Hours" is posted adjacent to the door.  
 2. Exterior exit doors may have key locking device (can be locked only with a key) if there is a readily visible, durable sign with 1" high letters stating "This Door To Remain Unlocked During Business Hours" adjacent to the door. Locking device shall be readily distinguishable as locked.  
 3. Door size 3'0"x6'8" minimum (maximum door leaf width 4'0").  
 4. Except churches with occupant load less than 750.  
 5. Occupant load 500-999, 3 exits. Occupant load 1000 or more, 4 exits.  
 6. Panic hardware required.



**County of San Diego – Community Services Agency**  
**DEPARTMENT OF LAND USE AND ENVIRONMENTAL REGULATION**

9150 Chesapeake Drive  
 San Diego, CA 92123  
 565-5920 (Zenith 7-0888)

837 Williamston Street  
 Vista, CA 92083  
 726-7920 (Zenith 7-2001)

200-L East Main  
 El Cajon, CA 92020  
 579-4511 (Zenith 7-1398)

**SUBJECT: PROVISIONS FOR PHYSICALLY HANDICAPPED PERSONS**

Sections 1711, 1712, and 1713, and Table 33-A of the UBC require certain facilities in and around buildings to be accessible to and usable by physically handicapped persons. A summary of requirements is provided below, with the exception of the additional requirements of the State Architect (as authorized in AB2396, effective January 1, 1975).

Groups I and J Occupancies. These Occupancies are exempt from the above regulations.

Group H Occupancy Apartments and Condominiums. The following special provisions for the physically handicapped apply to all units of these occupancies. See also Figure 1.

- (1) A water-closet shall have a clear and unobstructed access (including doorways) of not less than 32 inches, and
- (2) Such water-closet shall have a clear space, unobstructed by door swing, etc., of not less than 32 inches provided in front of the toilet stool.

Grab bars need not be provided. Where an apartment unit or condominium unit contains two or more water closets, all water closets must comply with the above requirements (1) and (2).

- (3) In apartment or condominium buildings four or more stories in height egress from all floors must be provided by means of elevators or conforming ramps. Elevators will not be considered to satisfy exit requirements. Access to garages used in connection with apartments may be by stairs only. Conforming ramps shall have a slope of not less than 1 in 10.

Group H Occupancy Hotels and Motels. The following facilities for the physically handicapped must be provided in all units of a hotel or motel. See also Figures 2 and 3.

- (1) Water closets must have a clear and unobstructed access (including doorways) of not less than 32 inches, and must have clear space, unobstructed by door swing, grab bars and similar items, of not less than 32 inches in front of the toilet stool.
- (2) Grab bars shall be provided on two sides, or on one side and the back of each water closet, and shall be located between 32 inches and 34 inches above the floor.
- (3) All toilet room facilities required by Section 1711(c) shall be provided; this includes clear space under a lavatory, and maximum mirror, towel, and disposal fixture heights.

Facilities for the physically handicapped also must be provided as follows in all areas of hotels and motels other than individual units.

- (4) In hotel buildings four or more stories in height egress from all floors must be provided by means of elevators or conforming ramps. Elevators will not be considered to satisfy exit requirements. Conforming ramps shall have a slope of not steeper than 1 in 1.
- (5) Every toilet room must be provided with one water closet compartment which has clearances and grab bars conforming to (1) and (2) above.
- (6) All toilet room facilities required by Section 1711(c) shall be provided.
- (7) Where public telephones are provided, at least one shall comply with Section 1713. See also Figure 5.
- (8) Where water fountains are provided, at least one shall comply with Section 1712. See also Figure 4.

Group A through G Occupancies. The following facilities for the physically handicapped must be provided for all Group A, B, C, D, E, F, and G Occupancies except as hereinafter exempted. See also Figures 2 and 3.

- (1) One water closet compartment in every toilet room must have a clear and unobstructed access (including doorways) of not less than 32 inches, and must have clear space, unobstructed by door swing, grab bars and similar items, of not less than 32 inches in front of the toilet stool.
- (2) Each water closet compartment provided with the clearances specified in (1) above shall be provided with grab bars on two sides or on one side and the back and located between 32 inches and 34 inches above the floor.
- (3) All toilet room facilities required by Section 1711(c) shall be provided; this includes clear space under a lavatory, and maximum mirror, towel and disposal fixture heights.
- (4) Where public telephones are provided, at least one shall comply with Section 1713. See also Figure 5.
- (5) Where water fountains are provided, at least one shall comply with Section 1712. See also Figure 4.

(6) Access must be provided to all floors by means of conforming ramps or elevators. Conforming ramps shall have a slope of not steeper than 1 in 10.

- Exceptions:
- (a) Private executive toilet rooms serving only one person and located in Group F2 office buildings need only comply with requirement (1) above.
  - (b) For floors containing only offices, warehouses, automobile parking, dormitories, children's homes, or homes for the aged, only the floor closest to grade need conform to requirement (6). Reviewing stands, grandstands and bleachers need not conform to requirement (6).

Alterations. Where alterations are being made to an existing building, and there is no change in use of the building, accessibility and usability of facilities to and by the physically handicapped is only required if the facilities are being altered.

Change in Use. Where there is a change in use of an existing building or portion thereof (whether or not alterations are being made) the existing facilities must be altered, if necessary, so that such facilities will be accessible to and usable by physically handicapped persons.

Additions. Where an addition is being made to an existing building all new facilities must be made accessible to and usable by physically handicapped persons. Where the valuation of an addition exceeds 50 percent of the valuation of the existing building, all existing facilities must similarly be made accessible.

Ramps. See Figures 6 and 7.

Water Fountains. See Figure 4.

Public Telephones. See Figure 5.

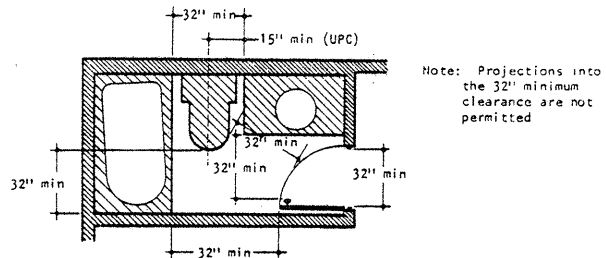


Figure 1 Recommended Minimum Clearances for Bathrooms in Apartments and Condominiums

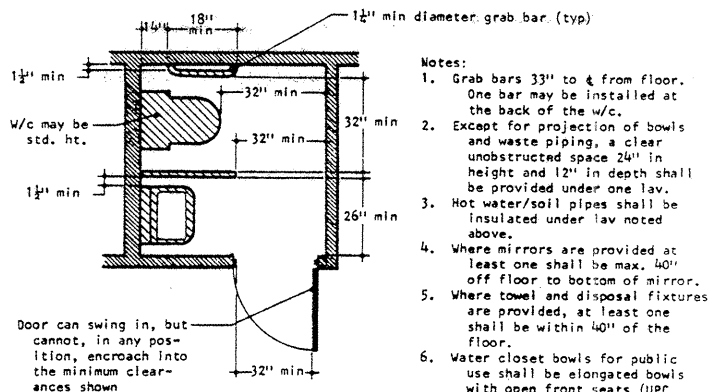


Figure 2 Recommended Minimum Clearances for Toilet Rooms

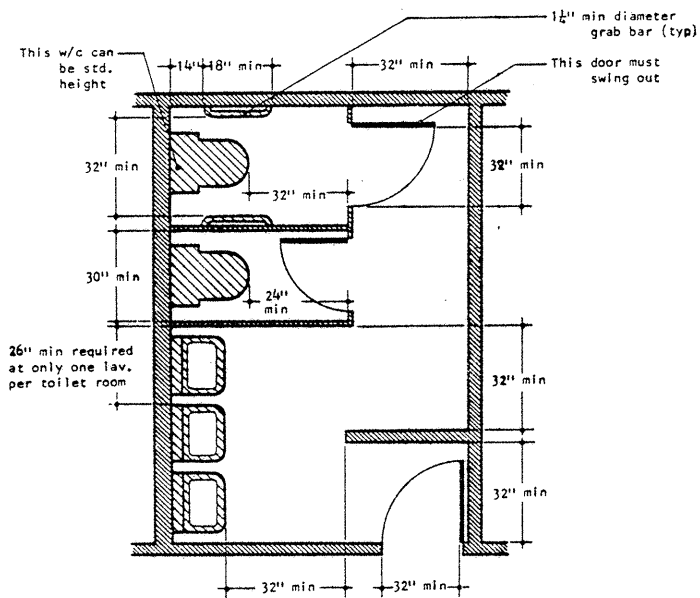


Figure 3 Recommended Minimum Clearances for Multiple Fixture Toilet Rooms

- Notes:
1. See Figure 2 for additional recommendations.
  2. One of the two required grab bars may be located behind the w/c.
  3. Projections should not reduce the clearances noted above.

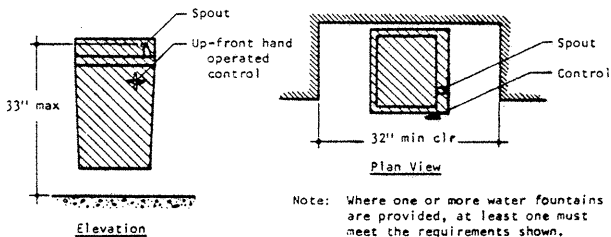
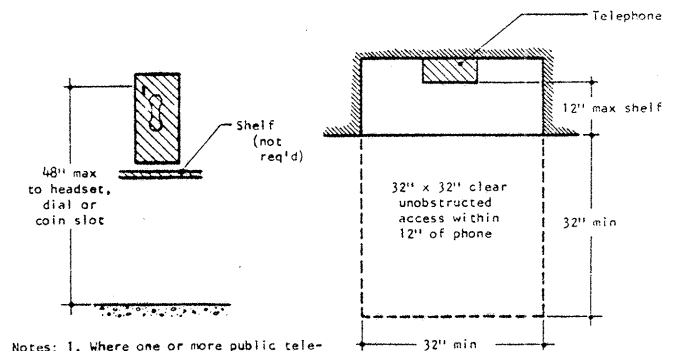
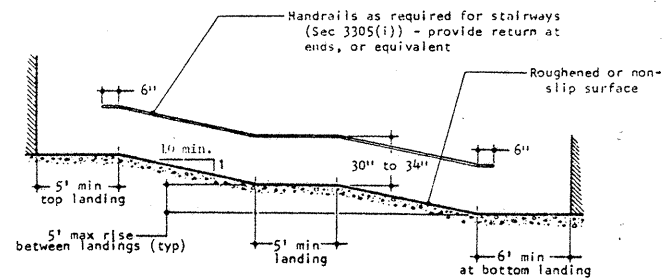


Figure 4 Clearances for Water Fountains



- Notes:
1. Where one or more public telephones are provided, at least one must meet the requirements shown.
  2. An appropriate number of phones shall be equipped & identified for persons with hearing disabilities.

Figure 5 Clearances for Public Telephones



- Notes:
1. Min ramp width as required for stairways.
  2. 42 inch minimum clearance where door swings over any landing.

Figure 6 Ramp Requirements

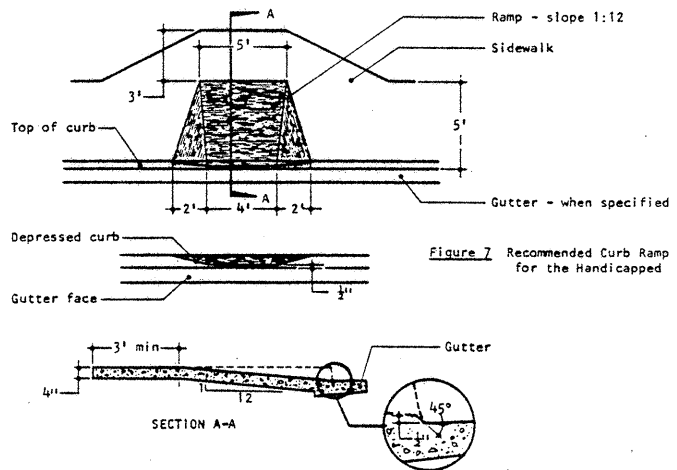


Figure 7 Recommended Curb Ramp for the Handicapped

# COUNTY OF SAN DIEGO



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DIRECTOR

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#### NOTICE OF REQUIREMENT FOR SPECIAL INSPECTION

TO:

DATE:

Ref. Your Project at \_\_\_\_\_ Plan Check No. \_\_\_\_\_ (\*)

In addition to the inspection provided by the Department of LUER, an approved Registered Special Inspector is required to provide continuous inspection during the performance of certain phases of construction on your project.

The Registered Special Inspector shall be approved by the Director of LUER of the County of San Diego prior to the issuance of the building permit. Special Inspectors having a current certification from the City of San Diego are approved as Special Inspectors for the type of construction for which they are certified.

The inspections by a Special Inspector do not change the requirements for inspection by personnel of the County Department of LUER. The inspections by a Special Inspector are in addition to the normal inspections required by the County Building Code.

The Special Inspector is not authorized to inspect and approve any work other than that for which he is specifically assigned to inspect. The Special Inspector is not authorized to accept alternate materials, structural changes, or any requests for plan changes. The Special Inspector is required to submit written reports to the Department of LUER of all work that he has inspected and approved. The final inspection approval will not be given until all Special Inspection reports have been received and accepted by the Department of LUER.

Please submit the names of the inspectors who will perform the special inspections on each of the items listed below.

Type of Inspection	Special Inspection Item Description, Location and Remarks	Design Strength
--------------------	---	-----------------

If you have any questions, please contact the undersigned.

(\*) Please identify all correspondence by use of the plan check number shown above.

Drain & Waste System For:

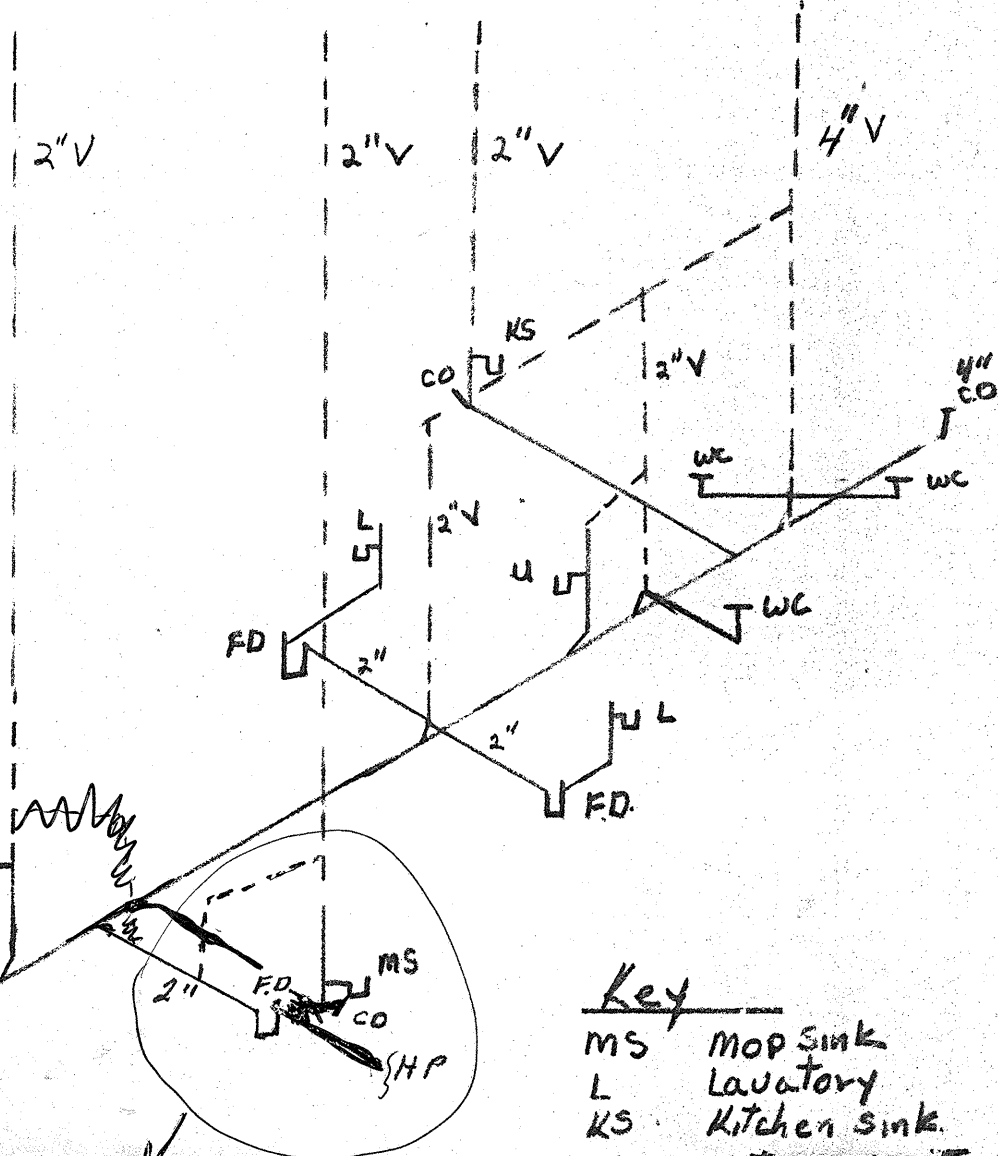
# ST. STEPHENS LUTHERAN CHURCH

1636 E MISSION  
Fallbrook, CA.

ALL MATERIAL TO BE CAST IRON  
WITH NO HUB COUPLINGS

**PLUMBING**  
NO GAS SERVICE  
BY *MMB* DATE 2/23/78

**PLUMBING NOTE**  
Floor drain trap seals must be installed by an indirect waste pipe from adjacent lavatories. OR OTHER APPROVED METHOD. *MMB*



- Key
- MS MOP SINK
  - L Lavatory
  - KS Kitchen sink
  - WC water closet
  - L Lavatory
  - DF Drinking Fountain
  - CO Clean Out
  - FD Floor Drain
  - H.P. HEAT PUMP DRAIN

MOP SINK + FLOOR DRAIN  
BOTH HAVE SEPARATE DRAINS  
AND BOTH VENTED APPROX. AS  
SHOWN. HEAT PUMP CONDENSATE  
DRAIN & PROVIDE PRIME TO F.D.

CO  
4" CAST IRON Drain  
TO SEWER

ST. STEPHEN EV. LUTH. CHURCH  
FALLBROOK, CALIFORNIA  
STRUCTURAL CALCULATIONS FOR

1/3

WOOD ROOF (ARCH & DECK)

(NOTE FINAL CALCS TO BE SUBMITTED TO ARCHITECT  
AND BUILDING INSPECTOR FOR JOB BY MANUFACTURER)

SEISMIC EVALUATION -

FALLBROOK ZONE 3 Z = 1

WOOD ROOF ARCH

C = .1 ONE STORY

K = 1 TABLE NO. 23-H

V = 2 KW = 0.1 W

DEAD LOAD ON SLOPE - 3 SHINGLES

2 INSULATION

7 WOOD DECK

12 PSF.

X 11' = 132#/1

BM WT = 25#/1

157#/1 ON SLOPE

$$X \sqrt{17^2 + 22.67^2} = 28.34$$

$157 \left( \frac{28.34}{22.67} \right) = 196\#/1$  ON VERTICAL V = 19.6#/1

D.L. ON VERTICAL - 25#/1 BM V = 2.5#/1

CONCENTRATED LOAD FROM OUTLOOKER

BRICK = 40 PSF

INSUL. WALL BD + STUD WALL = 10 PSF

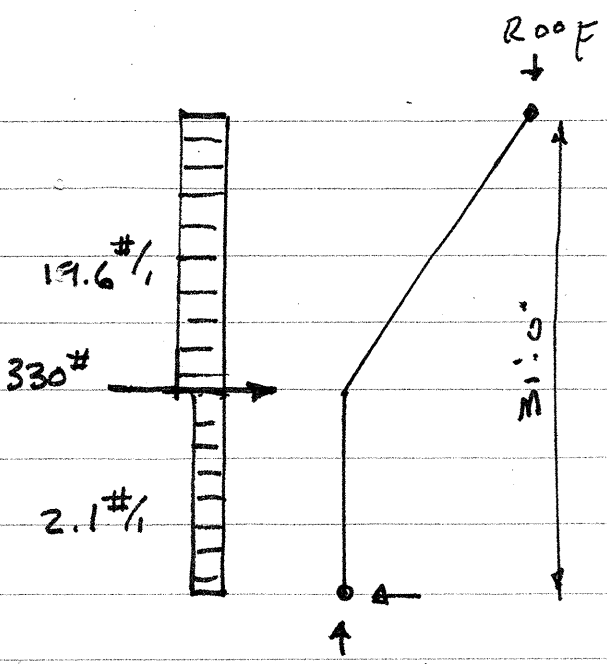
50 PSF x 11' x  $\frac{8.33}{2} = 2290\#$

ROOF 7' x 12 PSF x 11 = 924#

OUTLOOKER = 86#

3300# Tot.

3300# x .1 = 330#



$20 \text{ psf WIND (11')} = 220 \text{ \#/ft}$

THESE SEISMIC LOADS ARE CONSIDERABLY LESS THAN 220 \#/ft WIND LOAD. THUS WIND CONTROLS OVER SEISMIC

SEE ARCH MANUFACTURER'S WIND LOAD CALCULATIONS

SEISMIC LOAD PERPENDICULAR TO ARCHES

4 ARCHES  $4 \times 19.6 = 78.4 \text{ \#/ft UNIF.}$

ROOF TO BRG. WALLS  $15' (12) \frac{28.34}{22.67} (.1) = 22.5 \text{ \#/ft}$

END WALLS  $17' (14 \text{ PSF}) (.1) = 23.8 \text{ \#/ft}$

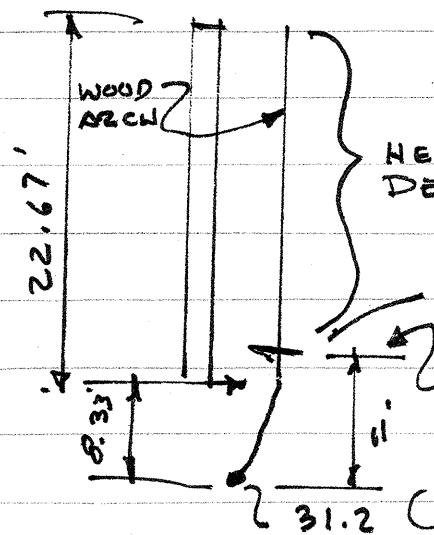
$124.7 \text{ \#/ft UNIF LOAD TO 4 ARCHES}$

ROOF + OUTLOOKER  $4 (924 + 86) (.1) = 404 \text{ \#}$

END OUT LOOKERS  $2 (86) (.1) = 17 \text{ \#}$

END ROOF  $12' \times 7' \times 13 (.1) = 110 \text{ \#}$

$531 \text{ \# LOAD AT KNEE OF 4 ARCHES}$



HELD RIGID BY DECKING

1'-8" x 5'-8" BM, SECT.

CRITICAL SECTION

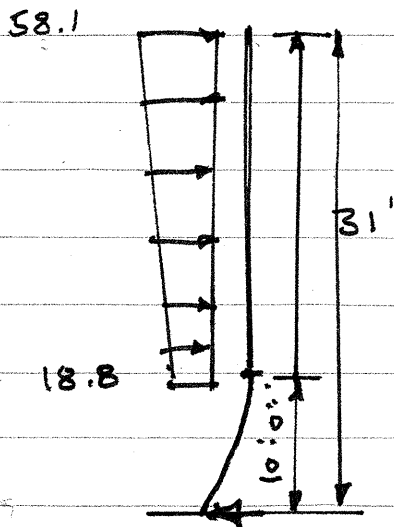
$31.2 (22.67) + 133 = 840 \text{ \#}$

$M = 840 (11) = 9240 \text{ FT} \cdot \text{LBS}$

NOTE:

ARCHES MUST BE CAPABLE OF CARRYING A 9,240 \# MOMENT ABOUT WEAK AXIS AT 11' ABOVE FLOOR.

WIND PERPENDICULAR TO ARCH (20 psf)



$$31/2 (20) \left( \frac{17}{22.67} \right)^{1/4} = 58.1 \#/\text{ft}$$

$$\frac{10}{2} (20) \left( \frac{17}{22.67} \right)^{1/4} = 18.8 \#/\text{ft}$$

(ARCHES)

$$\frac{58.1 + 18.8}{2} (21) = 807.5 \# < \text{SEISMIC VALUE OK OF } 840 \#$$

OCT 03 1977



R J MASSMAN  
Director

Offices of  
County Engineer & Road Commissioner  
County Surveyor  
County Airports

# COUNTY OF SAN DIEGO

## DEPARTMENT OF TRANSPORTATION COMMUNITY SERVICES AGENCY

Bldg 2, 5555 Overland Ave.  
San Diego, California 92123  
Telephone: (714) 565-5177

September 29, 1977

Special Use Permit: P 76-141

TO: Director of LUER  
FROM: Director of Transportation  
SUBJECT: Satisfaction of Conditions

On March 11, 1977, the San Diego County Planning Commission granted Special Use Permit P 76-141.

The applicant has satisfied Condition 3 - a, b, c, and d by signing the required documents.

JOHN R. CCUSINO  
Senior Civil Engineer

R. J. MASSMAN  
Director of Transportation

RJM:JRC:mg

cc: St. Stephens Ev. Lutheran Church, 1106 Via Prado, Fallbrook,  
CA 92028



VB 25132

ISSUANCE OF THIS PERMIT DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL THE PERMISSION OF THE PROPERTY OWNER HAS BEEN OBTAINED.

COUNTY OF SAN DIEGO DEPARTMENT OF TRANSPORTATION 5555 OVERLAND AVE., BLDG. NO. 2 SAN DIEGO, CA. 92123 - TEL. 565-5401

PERMIT NUMBER

C 24506

REF P76-141



NAME St. Stephen Lutheran Church ADDRESS 1106 Via Prado, Fallbrook, California 92028

DATE 6/23/77 CODE H53/III VOID IF WORK IS NOT STARTED BY 8/23/77

THIS PERMIT IS GRANTED UNDER PROVISIONS OF TITLE 7 OF SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES. IT IS UNDERSTOOD AND AGREED UPON THAT IF THIS LOCATION IS UNDER CONSTRUCTION, THE CONSENT OF THE CONTRACTOR MUST BE OBTAINED. THIS INSTALLATION IS GRANTED WITH THE STRICT UNDERSTANDING THAT SAME IS SUBJECT TO RELOCATION, CHANGE OF GRADE, OR REMOVAL AT THE REQUEST OF THE COUNTY ENGINEER. PERMITTEE SHALL BE ENTIRELY RESPONSIBLE FOR ANY LIABILITY DUE TO ANY ACCIDENT, LOSS OR DAMAGE RESULTING FROM THE DESIGN OR PERFORMANCE OF WORK INVOLVED.

LOCATION: 1636 E. Mission Rd., Fallbrook, Calif. RECEIPT FOR: FEE \$ 22.00

Table with columns: INSTALLATION, LENGTH, WIDTH, DESCRIPTION - REMARKS. Includes rows for COMMERCIAL DRIVEWAY, PAVEMENT, and a section for FEE (22.00), DEP., TOT., CASH, T.B., AREA.

24 Hr. Notice of beginning & completion of work must be given to: County Construction Division, phone 565-5125

All work must be completed to approval of County Engineer Department and in accordance with standard specifications and drawings of the County of San Diego and plans approved by County Engineer Department. Permittee is to apply for inspection of installation 24 hours in advance of backfill or concrete pour & otherwise as required by County Engineer. Before excavating, permittee shall check with all utilities for location of existing sub-structures: San Diego Gas & Electric Co.: 232-4252, Gas Engineering or Elect. Services, Underground Sect. Pacific Tel. & Tel. Company: 298-0595, Cable locator. Local irrigation or water district and sanitation or sanitary district.

COUNTY OF SAN DIEGO COUNTY ENGINEER

BY [Signature]

THIS PERMIT MUST BE KEPT ON THE WORK TO BE SHOWN ANY AUTHORIZED AGENT OF THE COUNTY UPON REQUEST.

C 24506 III NAME DATE COMPLETED

FORM ER 852 (REV. 5/76-OS 33) ADDRESS PERMITTEE TO DETACH & MAIL WHEN WORK IS COMPLETED.

COMMUNIT DEF AND EN ROVISIC PTED FO. EMENTS C NTY OF S IS NO A. NS ARE DESIGN

[Handwritten signature]

4

PROJECT LOCATION 1636 E. MISSION RD FALLBROOK

DESCRIPTION OF OPERATION DRIVEWAY ENTRANCE

ST. STEPHEN EV. LUTHERAN CHURCH PERMITTEE

1106 E MISSION RD STREET

FALLBROOK (CALIF 92028) CITY-STATE-ZIP CODE

Permit No. 245706  
E/C L/TM ( ) Circle

Date	Inspection results (including: progress, unusual developments, specification requirements, Area Engineer discussions, and any other details pertaining to the project record): Traffic Signing and Control	Hours Miles
23 Aug	GRADING FOR DRIVEWAY AND PLACING 6" D.G. BASE	
	ADVISED CONTRACTOR TO RAISE BACKSIDE OF DRIVEWAY	
	APRON APPROX 0.15 FT TO SAME ELEV. AS EDGE	
	OF EXISTING PAVEMENT TO KEEP DRAINAGE	1-15
	INTO BUTTER	
	OK' to Issue By Byrne	
	at DOT 11 AM 2/1/78	

Active       Inactive       Complete

Representative Contacted \_\_\_\_\_ Title \_\_\_\_\_

Signature Robert W. [Signature] Title Asst. C.E.  
(Area Engineer)

Total Hours	
Total Miles	

COUNTY OF SAN DIEGO  
TEL. 565-5125

INSPECTION REPORT

COUNTY ENGINEER DEPARTMENT  
BLDG. 5, 5555 OVERLAND AVE.  
SAN DIEGO, CA. 92123

PROJECT LOCATION

1636 E MISSION RD FALL BROOK

DESCRIPTION OF OPERATION

DRIVEWAY ENTRANCE

ST. STEPHEN EV. LUTHERAN CHURCH

PERMITTEE

1106 E. MISSION RD

STREET

FALL BROOK, CA. 92028

CITY-STATE-ZIP CODE

Date

Inspection results (including: progress, unusual developments, specification requirements, Area Engineer discussions, and any other details pertaining to the project record):  
Traffic Signing and Control

Hours  
Miles

8/20/71 PROJECT APPEARS COMPLETE.

COPY TO GARY ANDREWS PLEASE

Active

Inactive

Complete

Representative Contacted

Jerry [Signature]

Title

Signature

[Signature]

Title

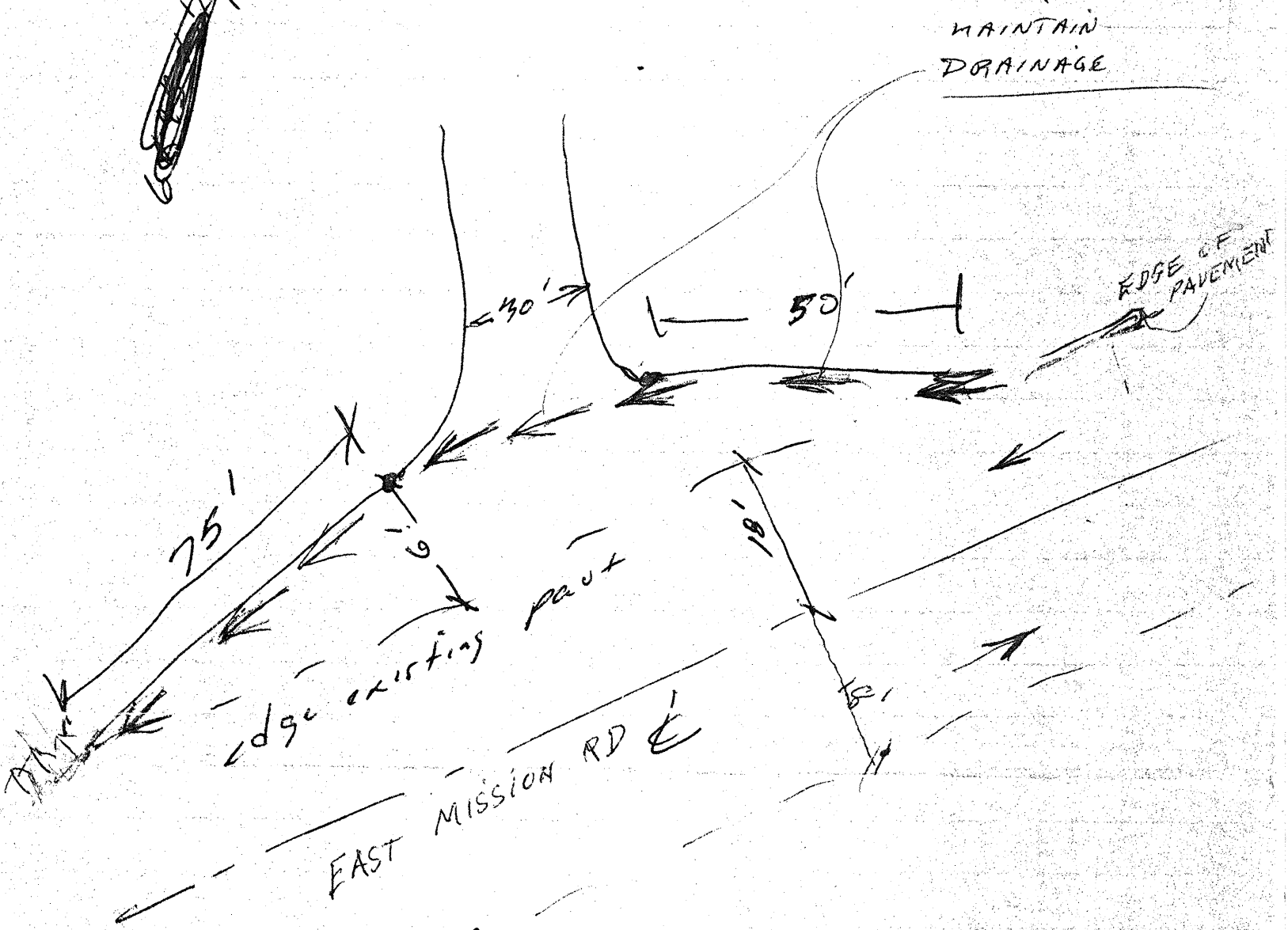
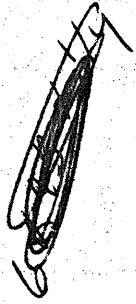
(Area Engineer)

Total Hours

Total Miles

Permit No. 24506  
EOL TM ( ) Circle

Room 184



Permit Office -

I think this can be done without  
a curb grade but field review  
to be sure

Jay Andrew (GARY ANDREWS)

25579

Please Contact Mr. Splan when you  
have decision

Ed Andrews

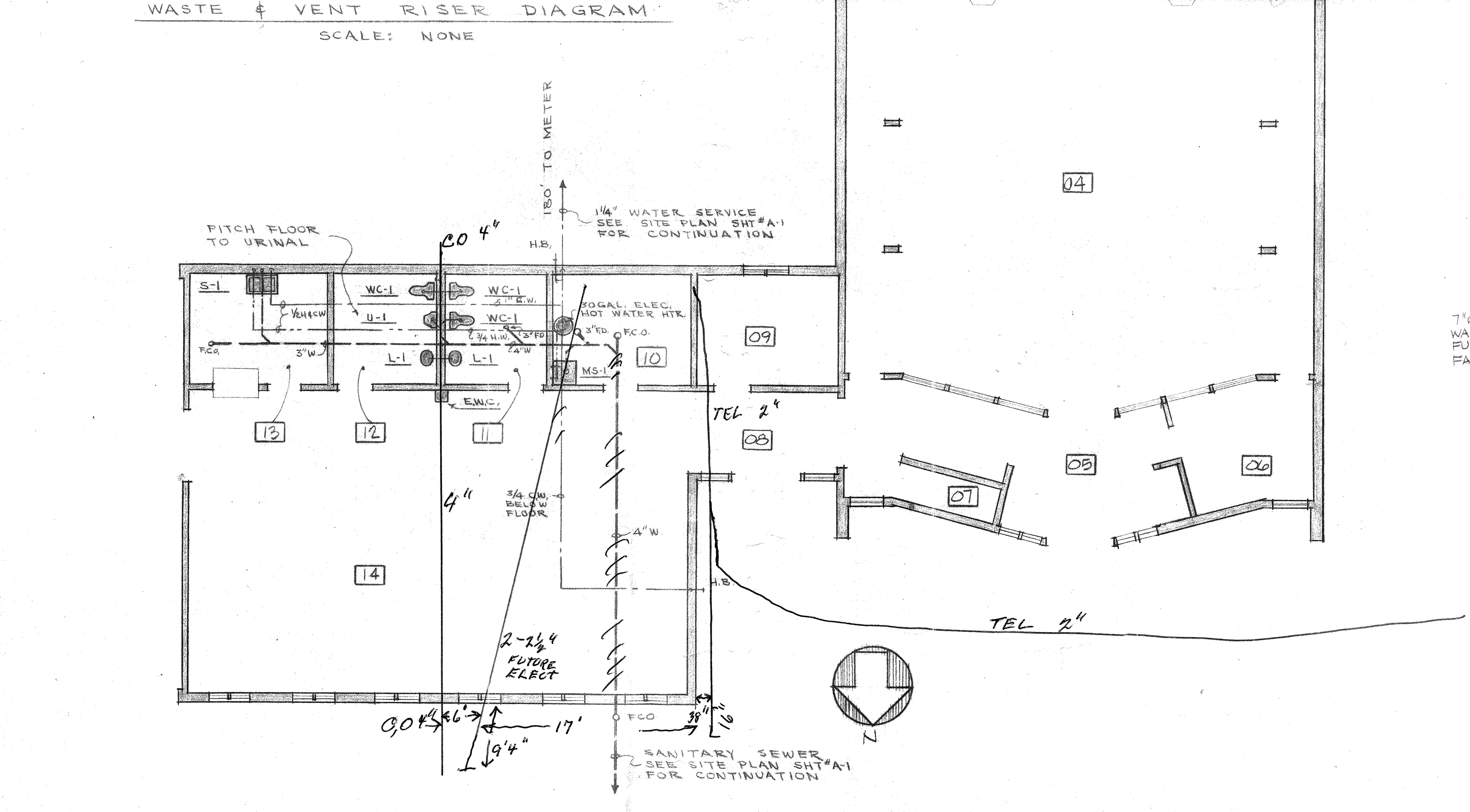
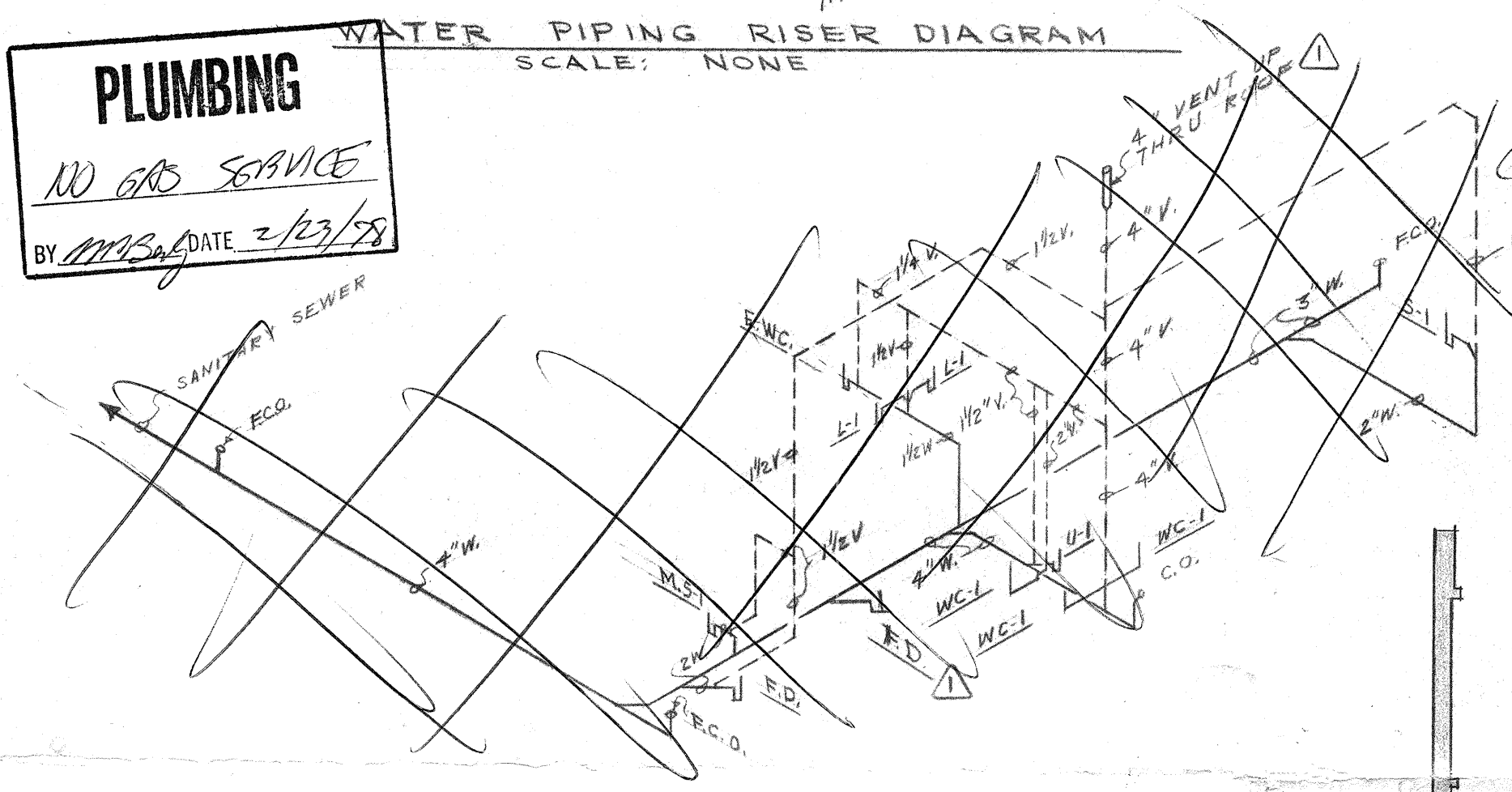
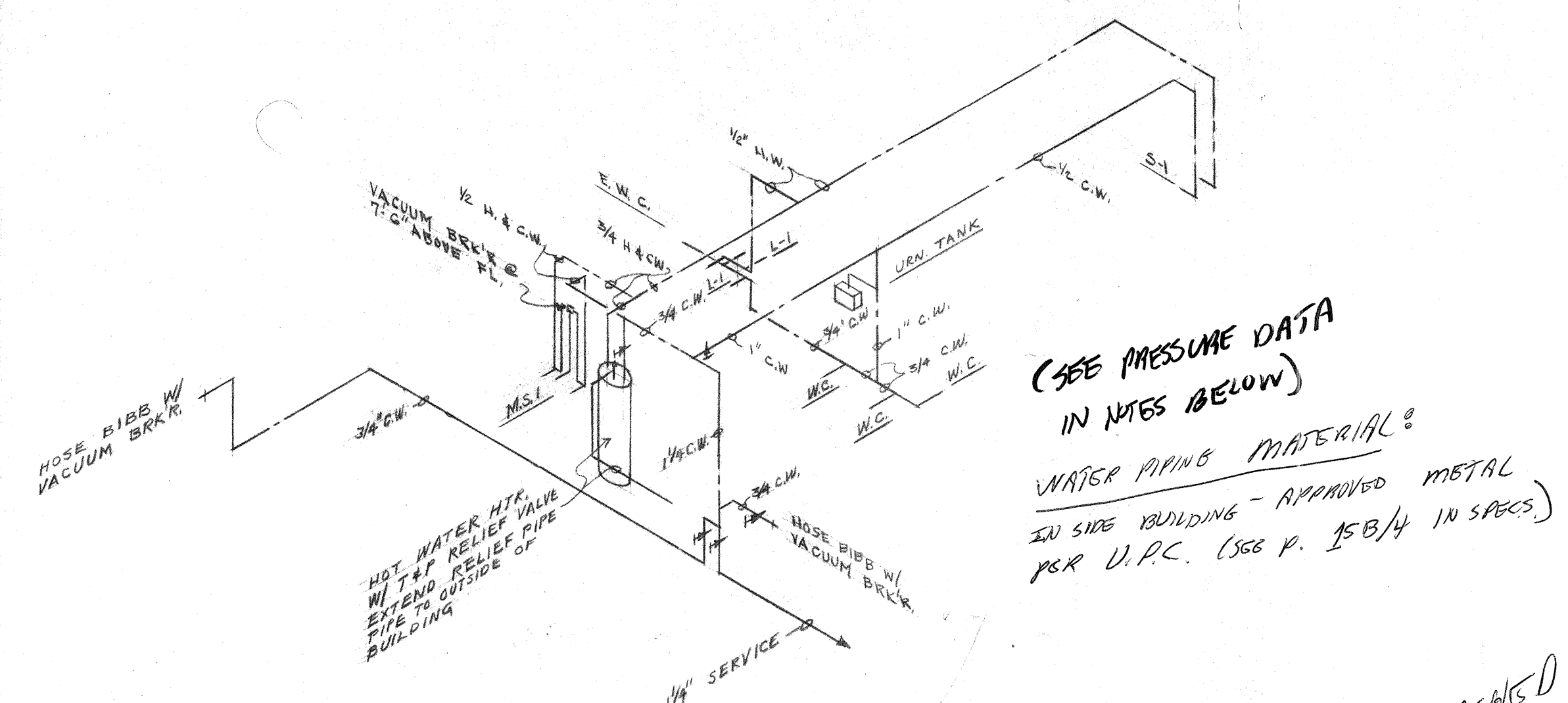


GERALD S. VANSELOW ARCHITECT  
 11514 E. 8th, REGISTRATION NO. 80299  
 CALIFORNIA REGISTRATION NO. C-8207  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 9512 W. NORTH AVE. MILWAUKEE, WISC. 53208  
 "BUILDING FOR CHRIST"

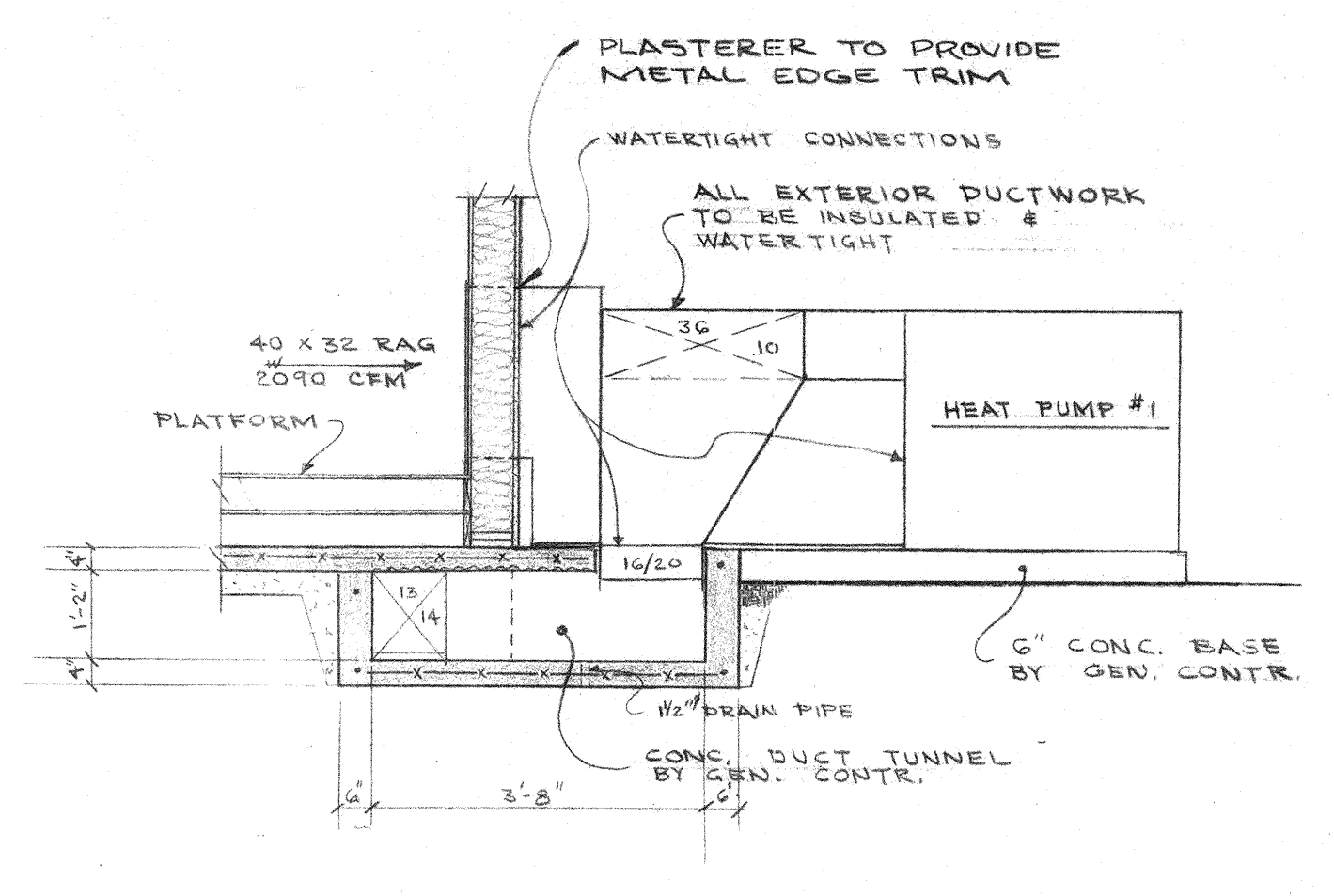
A NEW CHURCH HOME FOR:  
 ST. STEPHEN EV. LUTHERAN CHURCH  
 1036 EAST MISSION ROAD  
 FALLBROOK, CALIFORNIA

PLUMBING PLAN  
 H.V.A.C. PLAN

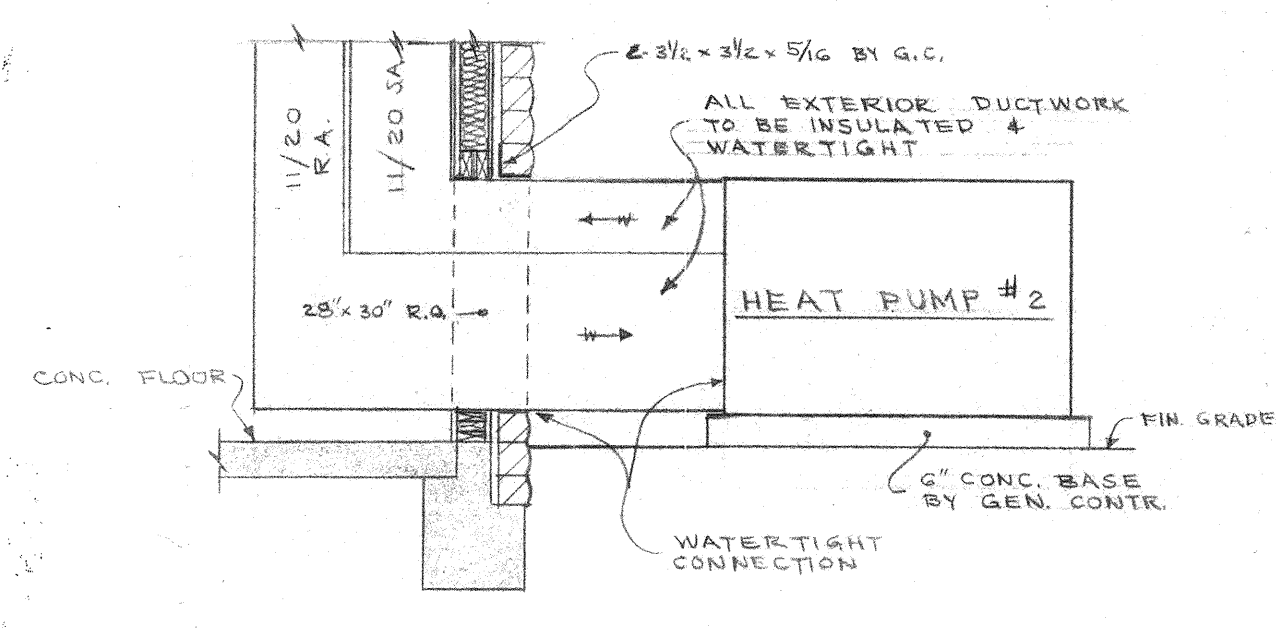
JOB NO.	7620
REV.	1/24/78
DATE	12/19/77
DRAWING NO.	M-1



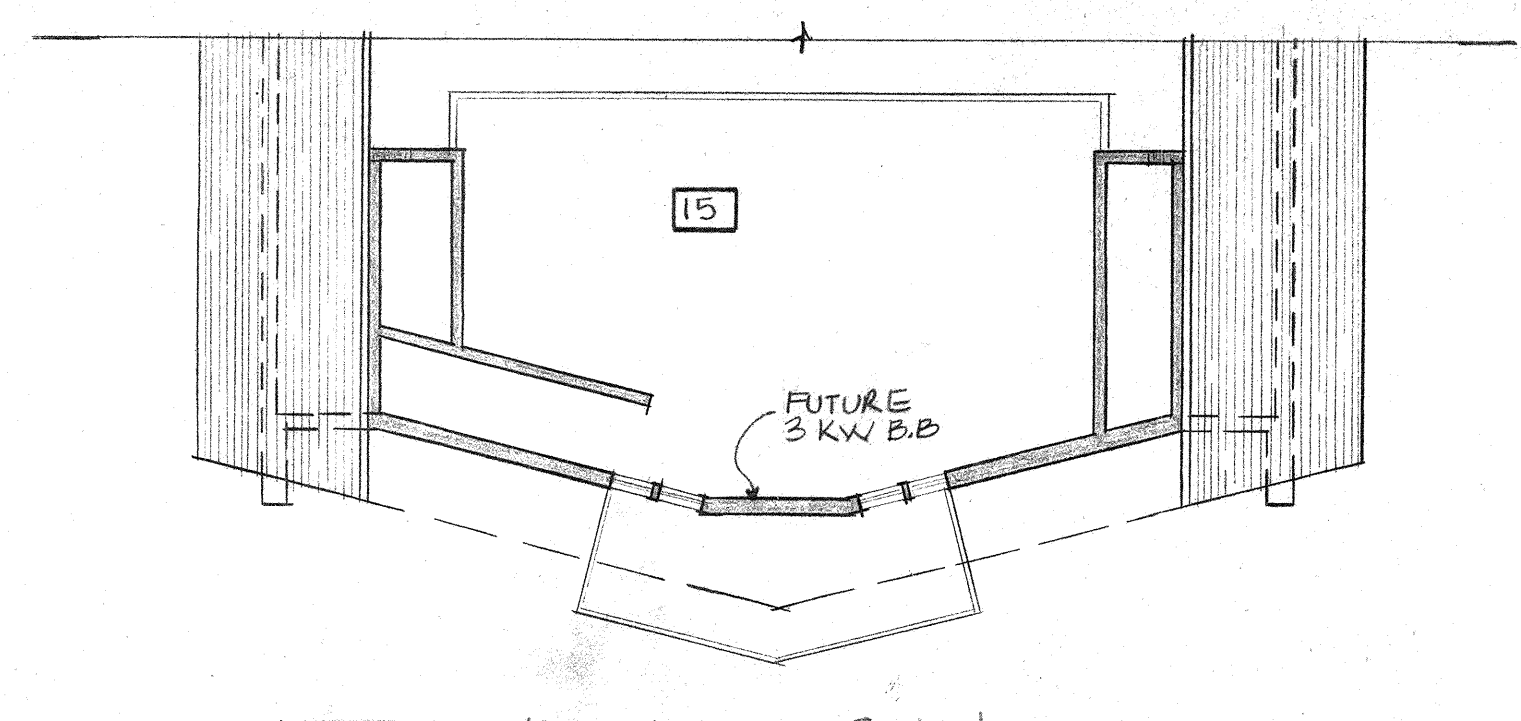
FIRST FLOOR PLUMBING PLAN  
 SCALE: 1/8" = 1'-0"



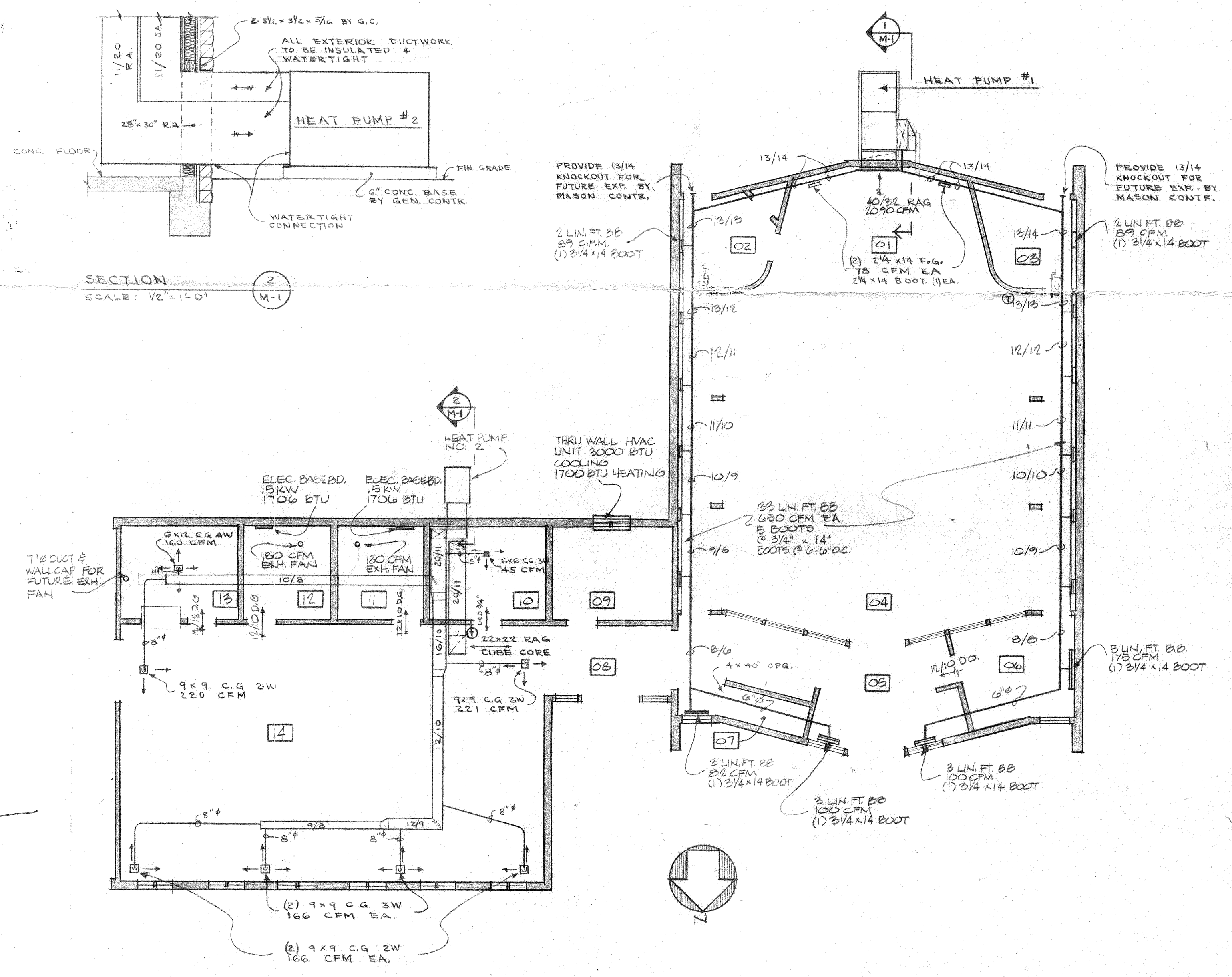
SECTION M-1  
 SCALE: 1/2" = 1'-0"



SECTION M-2  
 SCALE: 1/2" = 1'-0"

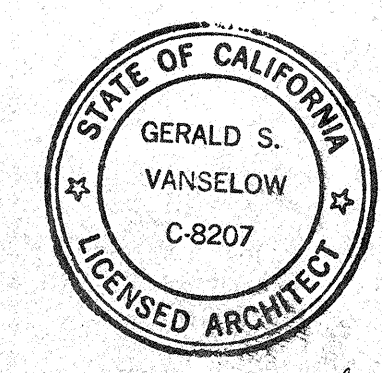


MEZZANINE H.V.A.C. PLAN  
 SCALE: 1/8" = 1'-0"

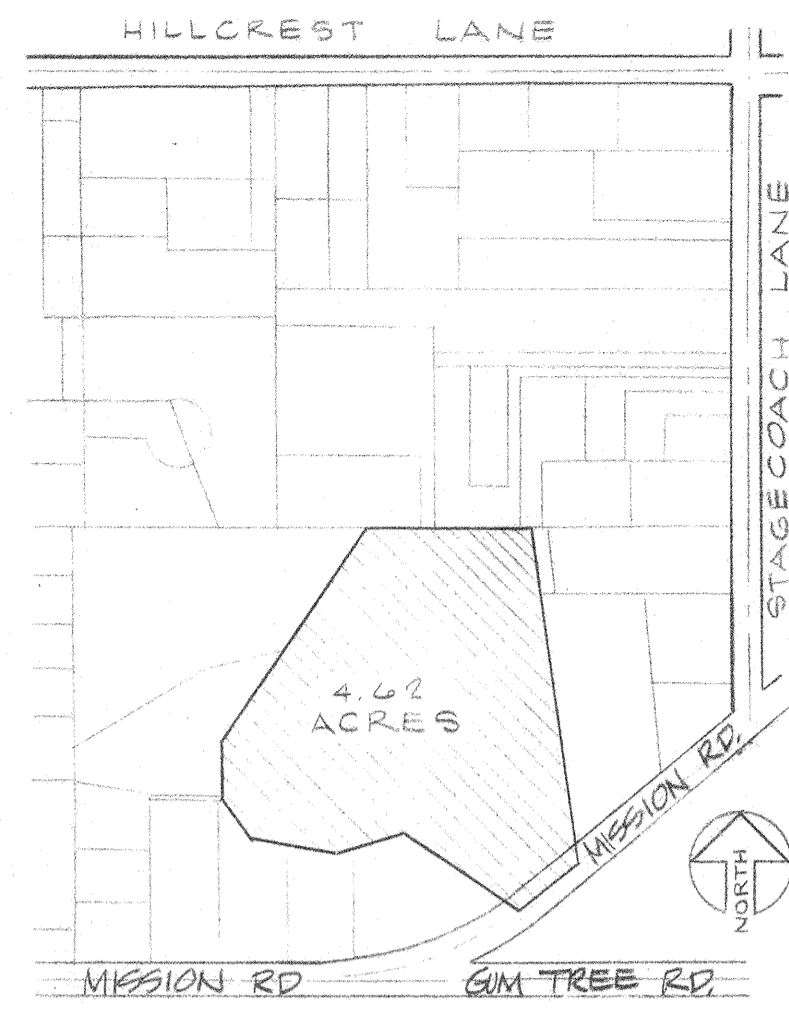


FIRST FLOOR H.V.A.C. PLAN  
 SCALE: 1/8" = 1'-0"

- NOTE:
- PLUMBING CONTRACTOR TO PROVIDE SHUT-OFF VALVES & CLEANOUTS AS SHOWN & AS REQUIRED BY STATE & LOCAL CODES.
  - PROVIDE ALL FLOOR DRAINS WITH APPROVED TRAP SEAL
  - PROVIDE APPROVED PRESSURE REGULATOR & STRAINER ON WATER SERVICE LINE CITY PRESSURE
  - HIGHEST FIXTURE (URINAL TANK) ELEV. 830' STREET ELEV. 825'



Gerald S. Vanselow  
 1-25-78



VICINITY MAP  
NO SCALE

**SITE DATA**

SITE TOTAL	4.62 ACRES 201,250 SQ. FT.
BUILDING	
PHASE I	4,600 SQ. FT.
MAX. FUTURE EXPANSION	+ 9,000 SQ. FT.
PARKING AND DRIVE	
PHASE I	40,500 SQ. FT.
MAX. FUTURE EXPANSION	+ 12,000 SQ. FT.
OPEN SPACE	164,990 SQ. FT.
PHASE I	3.81 ACRES
FUTURE	145,390 SQ. FT. 3.33 ACRES
ZONING	COUNTY OF SAN DIEGO 1973 U.B.C.
BUILDING CODE	1973 U.B.C.

**PROPERTY OWNER**  
ST. STEPHEN'S EV. LUTHERAN CHURCH  
CONGREGATION REPRESENTATIVE:  
G. CLASEN  
2125 RECHE RD.  
FALLBROOK CAL.  
PHONE 716-7955

**LEGAL DESCRIPTION**  
All that portion of the South half of the Southeast quarter of the Southeast quarter of Section 18, Township 9 South, Range 3 West, San Bernardino Meridian, in the County of San Diego, State of California, according to United States Government Survey approved September 11, 1879, described as follows:

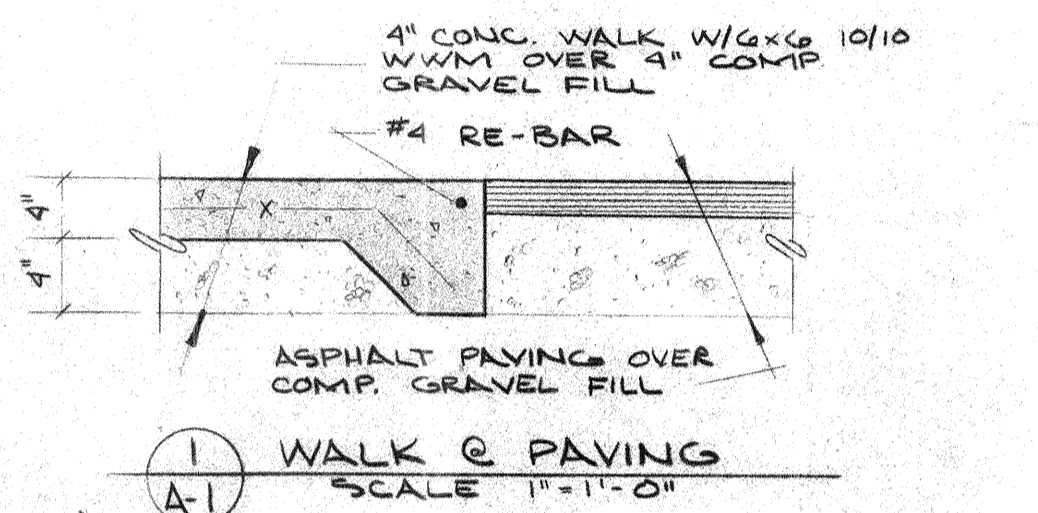
Beginning at the Northeast corner of said South half of the Southeast quarter of the Southeast quarter of Section 18; thence along the North line of said South half, South 89°32'30" West 253.58 feet to the Northwest corner of the tract of land conveyed to Hildebrand by Phelps, by deed recorded in Book 2075, Page 261 of Official Records; thence along the Western boundary of said land of Hildebrand, South 39°28'40" West 378.84 feet, and South 90°24'30" East 98.17 feet; thence South 36°21' East 60.53 feet; thence South 79°22' East 133.76 feet; thence North 71°58' East 113.36 feet; thence South 54°55'30" East 205.00 feet to the center line of United States Highway No. 395, being a point in a curve concave to the Northwest and having a radius of 500 feet; thence Northeasterly along said curve 30.08 feet to the end of said curve; thence on a tangent to said curve North 49°52'30" East 78.26 feet to a point which bears South 70°39'30" East 192.77 feet and South 8°32' East 310.31 feet from the true point of beginning; thence North 80°32' West 310.31 feet; thence North 79°39'30" West 192.77 feet to the true point of beginning.

**PLANTING SCHEDULE**

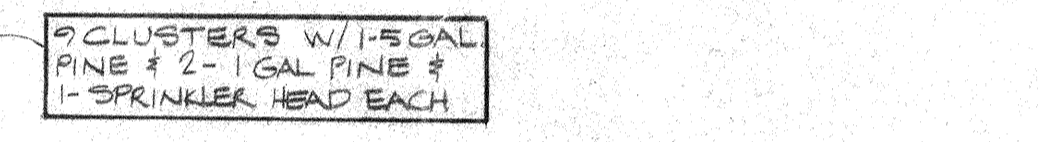
NO.	SIZE	SPECIES
31	1 GAL	ACACIA LATIFOLIA
15	1 GAL	PINUS RADIATA (YOUNG)
9	5 GAL	PINUS RADIATA
1	1 GAL	CUPANIA ANACANDOIDES
1	1 GAL	CUPANIA ANA. (MULTI)
90	1 GAL	CARRISSA PROSTRATA
5	5 GAL	PINUS THUMBERGI
9	5 GAL	CAMILLEA
6	5 GAL	PODOCAPUS MACROPHYLLA
6	5 GAL	CLIVIA HYERD
2	5 GAL	JUNIPER TURLOSA
7	5 GAL	STRELTZIA REGENICA
6	5 GAL	CURESSUS SEMPERVIVENS
5	5 GAL	EUCALYPTUS POLYANTHEMOS
15	5 GAL	MOREA IRCODIDES
221	1 GAL	JUNIPER PROSTRATA GREEN
5	1 GAL	JUNIPER SEA GREEN
100	PLATE	OSTEOSPEONUM

**SYMBOL KEY**

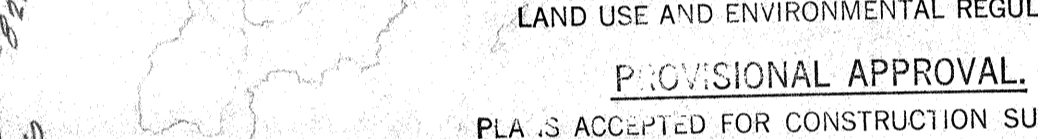
---	WATER
---	SANITARY SEWER
---	UG. ELECTRIC SERVICE
---	ALT. ROUTE U.G. ELECT. SERV.
---	ELECTRIC LINES
---	PROPERTY LINES
---	EXISTING PLANTINGS
---	NEW PLANTINGS
---	EXISTING CONTOURS
---	PROPOSED CONTOURS
---	CHAIN-LINK FENCE (FUT.) 6' HIGH
---	SOILS INVESTIGATION TEST PIT
---	SEE REPORT IN DETAIL MANUAL



4" CONC. WALK W/ #4 RE-BAR  
W/M OVER 3" COMP. GRAVEL FILL



ASPHALT PAVING OVER COMP. GRAVEL FILL



WALK & PAVING  
SCALE 1"=1'-0"

COUNTY OF SAN DIEGO  
COMMUNITY SERVICES AGENCY  
DEPARTMENT OF LAND USE AND ENVIRONMENTAL REGULATION  
PROVISIONAL APPROVAL

PLANS ACCEPTED FOR CONSTRUCTION SUBJECT TO THE REQUIREMENTS OF THE BUILDING ORDINANCES OF THE COUNTY OF SAN DIEGO, CALIFORNIA. THIS STAMP IS NO ASSURANCE THAT THE PLANS OR SPECIFICATIONS ARE CORRECT IN EVERY RESPECT. ENGINEER'S DESIGN OR CONSTRUCTION MUST BE CORRECTED.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_ SHEETS

5-5 GALLON EUCALYPTUS POLYANTHEMOS  
OSTEOSPEONUM GRASS COVER ENTIRE AREA APPROX. 15,000  
5-1 GAL JUNIPER PROSTRATA GREEN W/ 5-1 GAL JUNIPER SEA GREEN

2-5 GAL COP. RESUS SEMPERVIVENS  
EXISTING BRUSH TO BE REMOVED BY OWNER  
ARROWS INDICATES DIR. OF TRAFFIC FLOW

NOTE: HATCHED AREA INDICATES 61'-0" DEDICATION FOR HIGHWAY USE  
WATER METER  
6" WATER MAIN

10 SQ. FT. SIGN W/ (2) GRND. MTD. SPOTLIGHTS SEE DMA 25  
60RB & GUTTER TO BE INSTALLED ALONG NEW DRIVE TO A POINT 41'-0" FROM E. MISSION RD.  
DR. ELECTRIC LINES W/ 10'-0" BASEMENT

**SHEET INDEX**

A-1	SITE PLAN
A-2	PLAN, DETAILS, DOOR & ROOM FINISH SCHEDULE
A-3	ELEVATIONS, SECTIONS, & WINDOW SCHEDULE
A-4	SECTIONS & DETAILS
S-1	MEZZANINE & ROOF FRAMING, FOUNDATION PLAN, DETAILS
M-1	PLUMBING PLAN, HVAC PLAN, SECTIONS, WATER PIPING, WASTE & VENT RISER DIAGRAMS
E-1	ELECTRICAL PLAN, RISER DIAGRAM
Z-1	GRADING PLAN (NOT ATTACHED SEE GENERAL NOTES) LANDSCAPING & IRRIGATION PLAN (NOT ATTACHED SEE GENERAL NOTES)

COUNTY OF SAN DIEGO  
DEPARTMENT OF LAND USE AND ENVIRONMENTAL REGULATION  
GRASS COVER APPROVAL  
ADDRESS: 1636 E. MISSION  
ASSESSOR'S PARCEL NO.: 105-092-22  
USE: CHURCH  
ZONE: R1  
SUPERVISOR: J. CLASEN  
PLANNER: J. CLASEN  
DATE: 2-27-76

**GENERAL NOTES**

- ALL WORK TO BE DONE IN ACCORDANCE W/ ALL STATE & LOCAL CODES & ORDINANCES. CONTRACTOR TO VERIFY CONDITIONS & DIMENSIONS IN FIELD.
- ALL NEW LANDSCAPING, TREES TO BE REMOVED, SPRINKLER SYSTEM - BY OWNER.
- ROUGH GRADING HAS BEEN COMPLETED. FOR EXISTING GRADES SEE GRADING PLAN BY A.R. BARRY ENGINEERS, PO BOX 348, ENCINITAS, CA 714-436-8961
- SEE LANDSCAPING & IRRIGATION PLAN AS DRAWN BY G.J. CLASEN, 2125 RECHE RD., FALLBROOK, CA 714-728-7955
- FINISH FLOOR ELEVATION OF 822.7' ON THIS SHEET IS EQUAL TO FIN. FLR. ELEV. OF 100'-0" ON OTHER SHTS.
- TELEPHONE LINE & PHONE SYSTEM TO BE COORDINATED WITH OWNER'S PHONE COMPANY. SEE ALSO ELECTRICAL SPECS.
- DASHED LINE EXTENDING NE FROM FELLOWSHIP HALL & SE. FROM CHURCH INDICATES FUTURE EXPANSION.
- SURVEY HAS BEEN PREPARED BY OWNER.



Gerald S. Vanselow  
C-8207



GERALD S. VANSELOW - ARCH. (ADDRESS BELOW)  
CAL. REG. NO. C-8207 PH. 1-714-728-7955  
RICHARD A. LUMSDEN - ASSOCIATE ARCHITECT  
2191 ELMCAMP RD., FALLBROOK, CALIFORNIA  
CAL. REG. NO. 11713-767-0092  
GENERAL BOARD FOR HOME MISSIONS  
WISCONSIN EVANGELICAL LUTHERAN SYNOD  
3512 W. NORTH AVE., MILWAUKEE, WISC. 53208

A NEW CHURCH HOME FOR:  
ST. STEPHEN'S EV. LUTHERAN CHURCH  
1636 EAST MISSION ROAD  
FALLBROOK, CALIFORNIA  
PROTOTYPE PLAN NO. A-III-W/F-2-256

**REVISIONS**

JOB	7020
REV. A	12/19/77
REV. B	8/2/77
REV. C	1/15/77
DATE	12/24/76

DRAWING NO. A-1

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	WAINSCOT	CEILING	REMARKS	ROOM NO.
01	CHANCEL	1	10	30 30 30	---	40	VARIABLES	01
02	SACRISTY	2	11	30 30 30	---	40	VARIABLES	02
03	VESTIBULE	2	11	30 30 30	---	40	VARIABLES	03
04	NAVE	1	11	30 30 30	---	40	VARIABLES	04
05	NARTHEX	1/2	11	30 30 30	---	42	7'-6"	05
06	MOTHER'S RM	1	11	30 30 30	---	42	VARIABLES	06
07	FUTURE STAIR	6	---	---	---	---	G.C. TO PROVIDE HINGES & CLOSURE BOSS FOR PANEL DOOR	07
08	CORRIDOR	1	11	30 30 30	---	41	7'-9"	08
09	PASTOR'S OFF.	1	11	30 30 30	---	40	7'-9"	09
10	MECH. RM.	6	---	30 30 30	---	41	9'-0"	10
11	WOMEN'S TLT.	4	13	30 30 30	20	4'-0"	41 9'-0"	11
12	MEN'S TLT.	4	13	30 30 30	20	4'-0"	41 9'-0"	12
13	KITCHENETTE	3	12	30 30 30	---	41	9'-0"	13
14	FELLOWSHIP HALL	1	11	30 30 30	---	43	8'-6"	14
15	MEZZANINE	5	---	30 30 30	---	40	VARIABLES	15

KEY TO FINISH MATERIALS

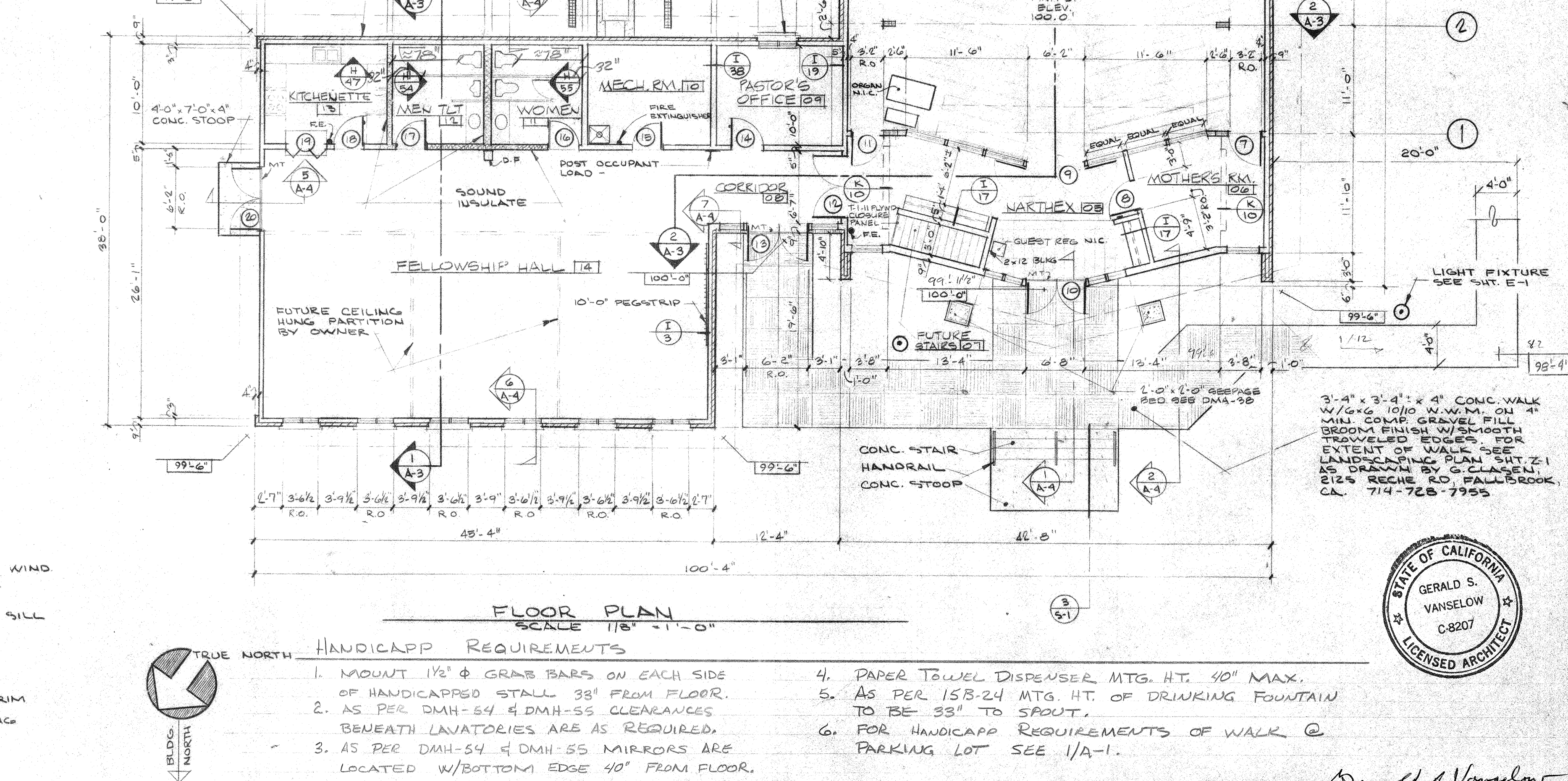
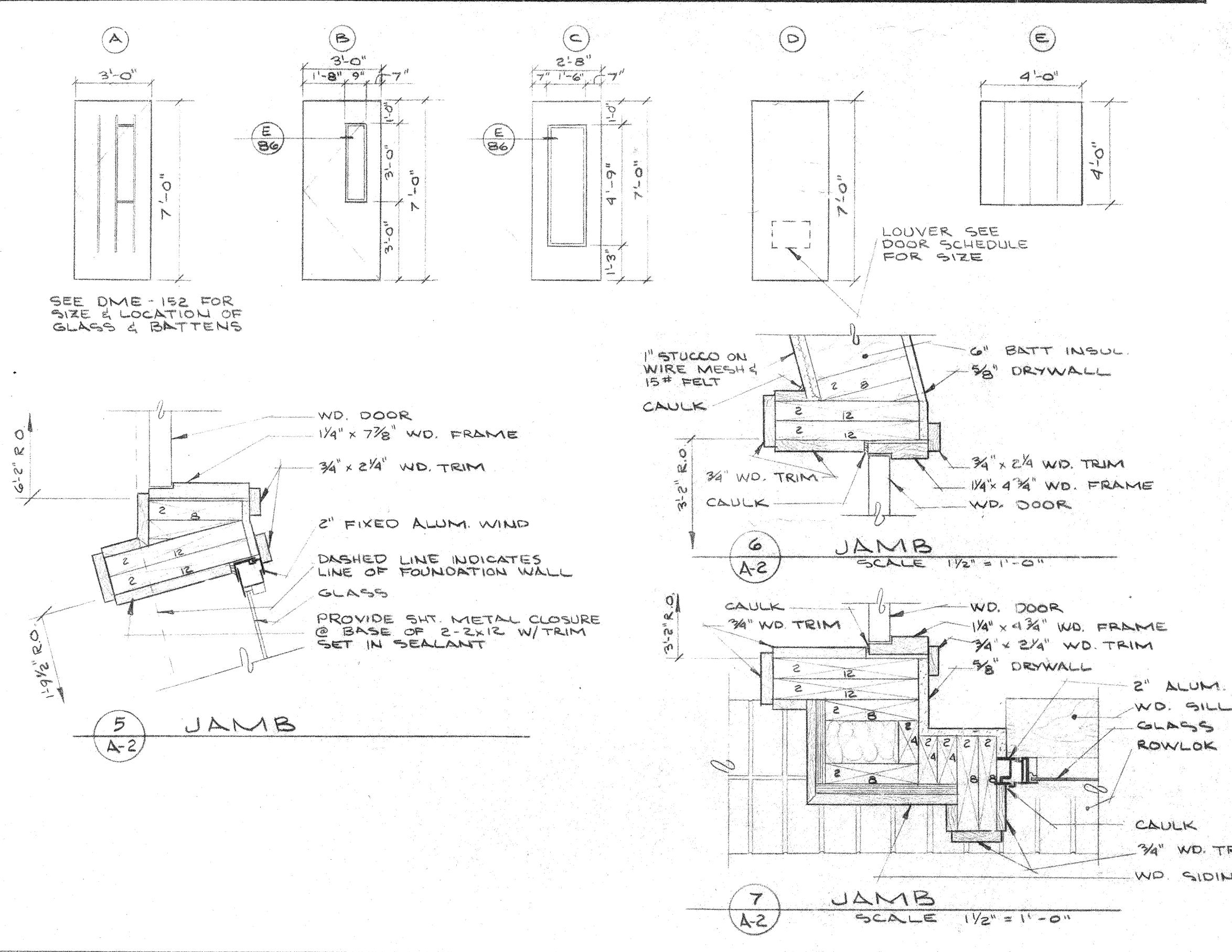
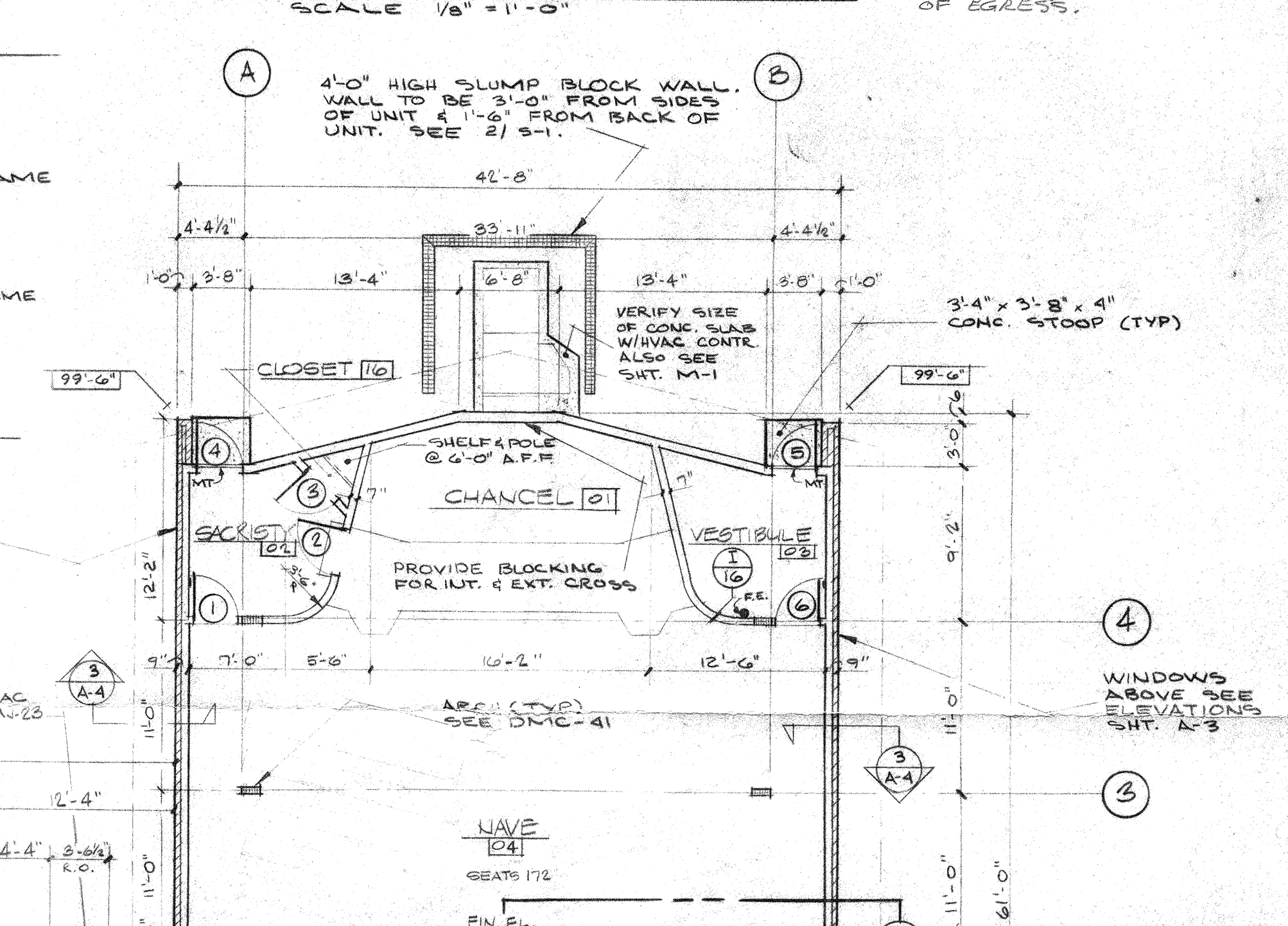
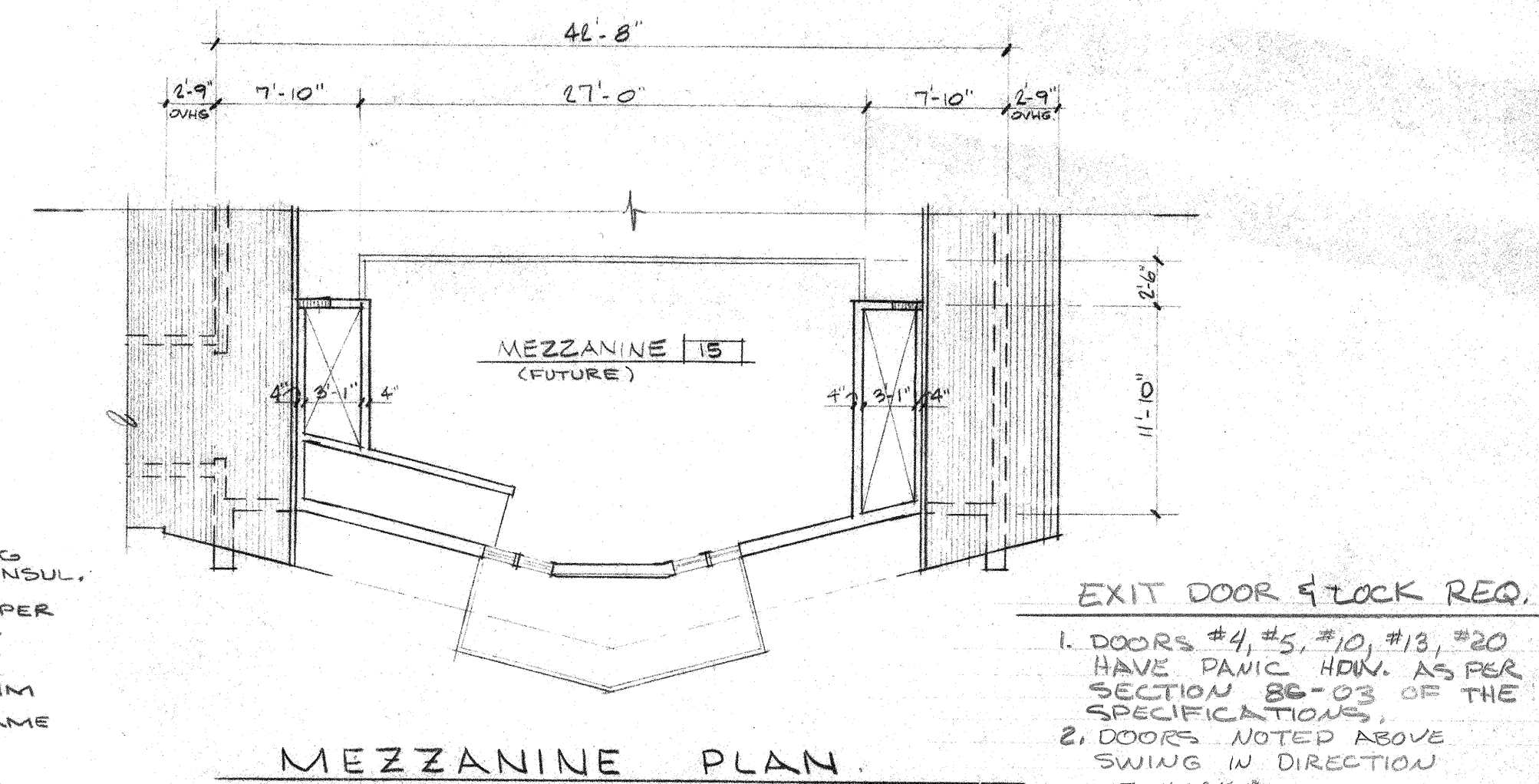
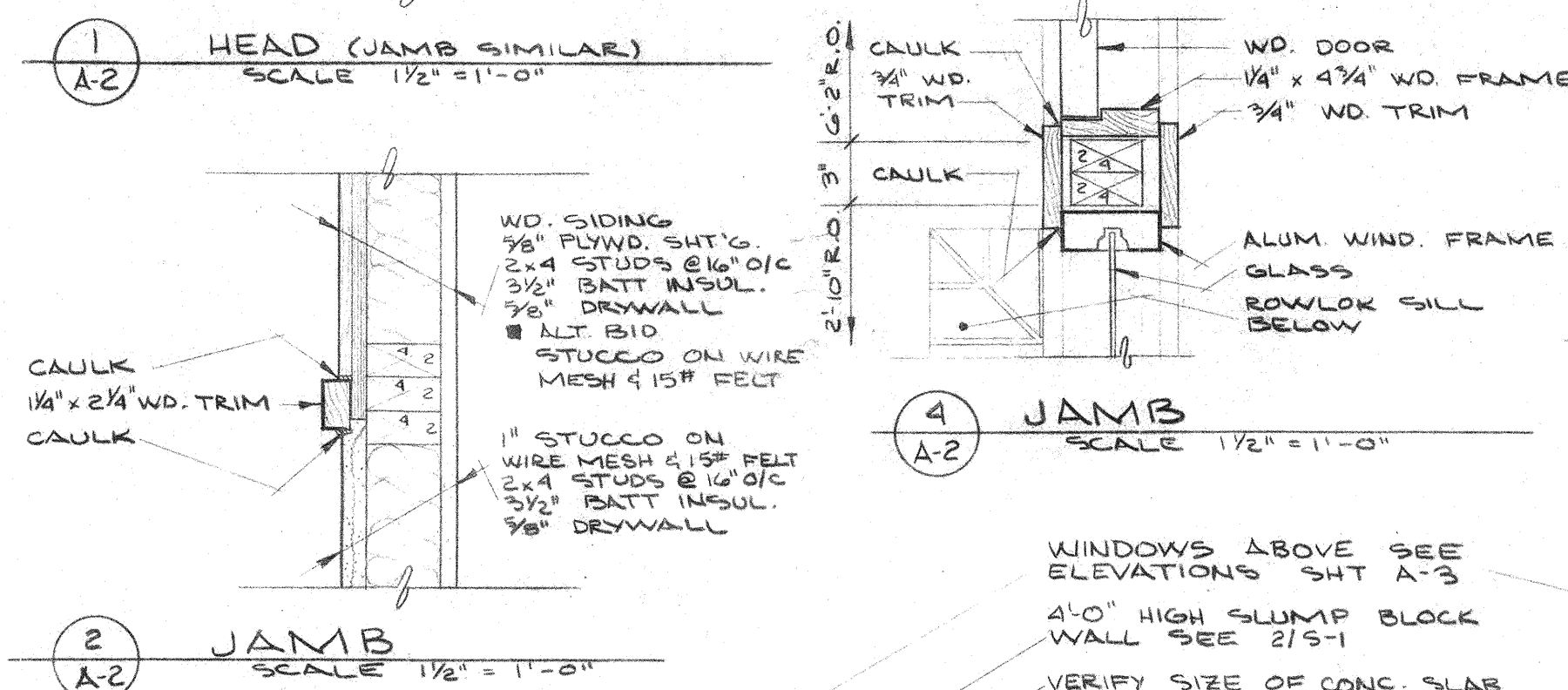
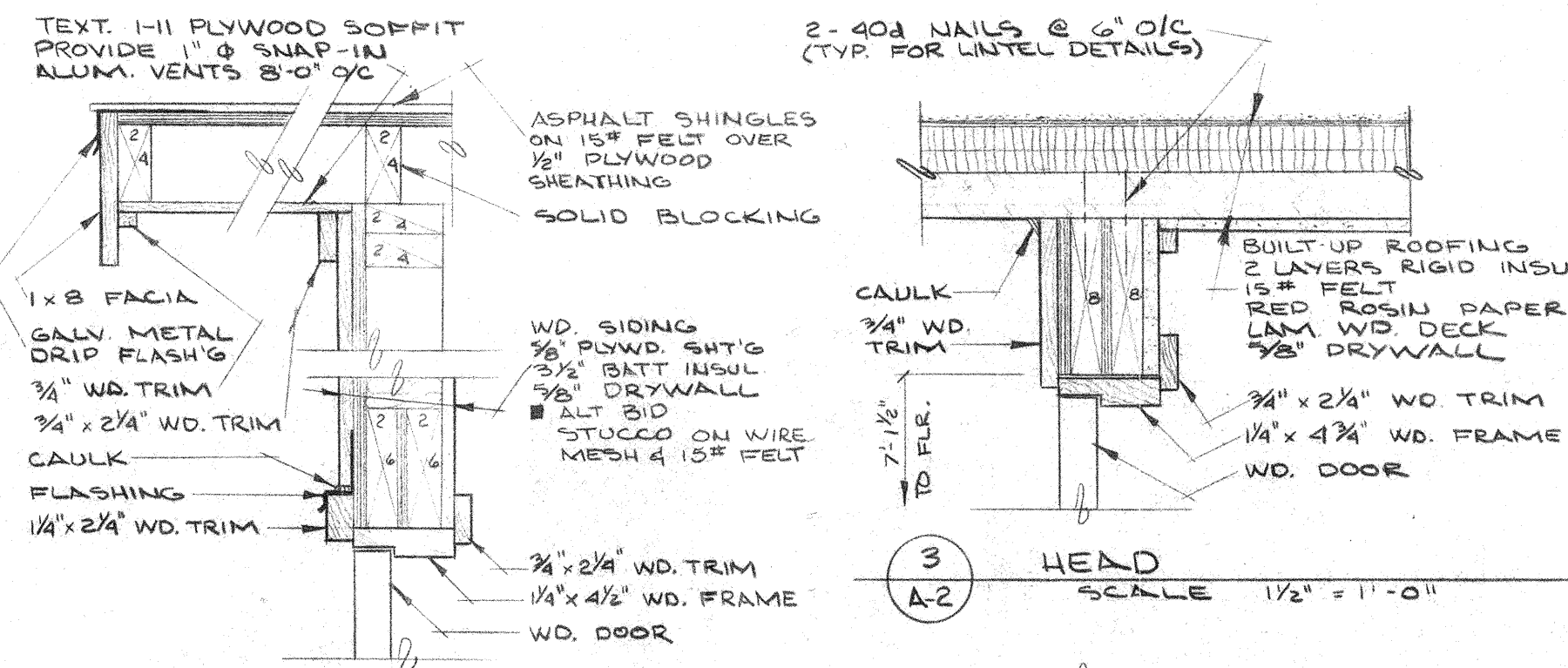
FLOORING	BASE	WAINSCOT	WALLS	CEILING
1. CARPET (BY OWNER)	10. 2 1/2" OAK	20. CERAMIC TILE	30. 5/8" FR. DRYWALL	40. EXP. WD. DECK
2. VINYL ASB. TILE	11. 2 1/2" VINYL			41. 5/8" FR. DRYWALL
3. SHEET VINYL	12. 4" VINYL			42. 5/8" FR. DRYWALL ON RESILIENT CLIPS
4. CERAMIC TILE	13. 6" CERAMIC TILE			43. SUSPENDED ACOUSTICAL TILE
5. EXP. UNDERLAYMENT				
6. EXP. CONC.				

DOOR SCHEDULE

NO.	SIZE	DOOR	TYPE	MTL.	JAMB	GLASS	LOUVER	HWDR	HEAD	DETAILS	REMARKS	NO.	
01	3'-0" x 7'-0" x 1 3/4"	D	WOOD	WOOD	---	---	---	105	E-110	E-109 22/A-4	UNDER CUT DOOR 1"	01	
02	2'-8" x 7'-0" x 1 3/4"	D	---	---	---	---	---	107	E-1	E-2	---	02	
03	2'-8" x 7'-0" x 1 3/4"	D	---	---	---	---	---	106	E-1	E-2	OWNER TO PROVIDE MIRROR FOR INSIDE OF DOOR	03	
04	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	102	E-147	6/A-2 7/A-2	---	04	
05	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	102	E-147	6/A-2 7/A-2	---	05	
06	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	105	E-110	E-109 22/A-4	UNDER CUT DOOR 1"	06	
07	3'-0" x 7'-0" x 1 3/4"	B	---	---	9'x36"	---	---	104	E-110	E-109 22/A-4	---	07	
08	2'-8" x 7'-0" x 1 3/4"	B	---	---	9'x36"	12/10	---	104	E-1	E-2	---	08	
09	2'-8" x 7'-0" x 1 3/4"	B	---	---	9'x36"	---	---	103	E-35	F-53	CLOSURE TO OPEN 180°	09	
10	3'-0" x 7'-0" x 1 3/4"	A	---	---	9'x36"	---	---	101	E-114	5/A-2	---	10	
11	3'-0" x 7'-0" x 1 3/4"	B	---	---	9'x36"	---	---	104	E-110	E-109 22/A-4	---	11	
12	2'-8" x 7'-0" x 1 3/4"	C	---	---	18'x57"	---	---	102	E-1	E-2	---	12	
13	3'-0" x 7'-0" x 1 3/4"	A	---	---	9'x36"	---	---	101	3/A-2	4/A-2	---	13	
14	3'-0" x 7'-0" x 1 3/4"	B	---	---	9'x36"	---	---	106	E-1	E-2	---	14	
15	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	108	E-1	E-2	UNDER CUT DOOR 3/4"	15	
16	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	12/10	109	E-1	E-2	---	16
17	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	12/10	109	E-1	E-2	---	17
18	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	12/12	111	E-1	E-2	---	18
19	4'-0" x 4'-0" x 1 3/4"	E	---	---	---	---	---	110	E-69	E-55 E-62	B1-FOLD	19	
20	2'-8" x 7'-0" x 1 3/4"	B	---	---	9'x36"	---	---	101	1/A-2	1/A-2 SIM	---	20	

GENERAL NOTES

- CONTRACTOR TO VERIFY CHANCEL PLATFORM LAYOUT W/ARCHITECT.
- CONTRACTOR TO PROVIDE BLOCKING FOR INTERIOR CROSS, EXTERIOR CLUSTER CROSS, GUEST REGISTER, & TOILET PARTITION.
- CHANCEL FURNITURE & NAVE SEATING N.I.C.
- CONTRACTOR TO VERIFY DIMENSIONS & CONDITIONS @ SITE.
- ALL FRAMING TO BE 2"x4" @ 16" O/C STUDY WALL UNLESS OTHERWISE NOTED. NAILING TO MEET SEISMIC CODE FOR SHEAR.
- SEE SHEETS M-1 & E-1 FOR SUBSYSTEMS & LOCATION OF EQUIPMENT.
- SEE STRUCTURAL DRAWINGS & DETAIL MANUAL FOR SHEAR WALLS & DETAILS.



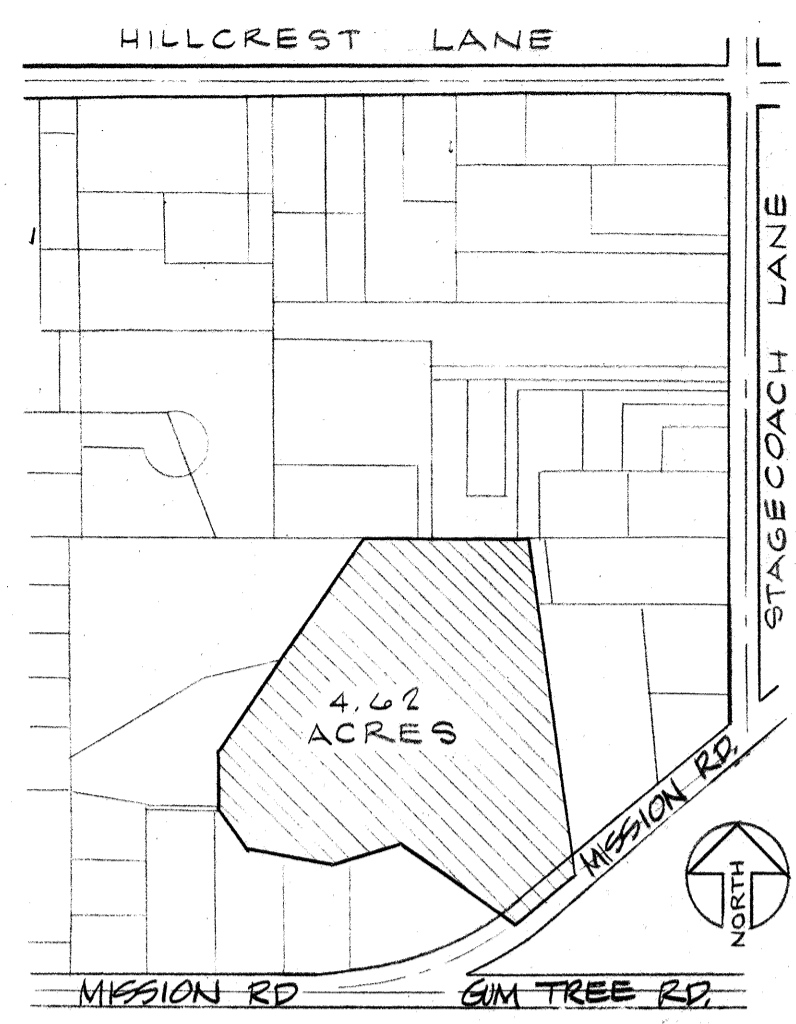
**GERALD S. VANSELOW - ARCHITECT**  
 N.C.A.A. REG. NO. B-8039  
 CALIFORNIA REG. NO. C-8207  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 3512 W. NORTH AVE. MILWAUKEE, WISC. 53208

**A NEW CHURCH HOME FOR**  
**ST. STEPHEN EV. LUTHERAN CHURCH**  
 1636 EAST MISSION ROAD  
 FALLBROOK, CALIFORNIA

**FIRST FLOOR PLAN**  
 DETAILS  
 DOOR & ROOM FINISH SCHEDULE

JOB	#7620
DATE	12/19/77
DRAWING NO.	A-2

*Gerald S. Vanselow*



VICINITY MAP  
NO SCALE

COUNTY OF SAN DIEGO  
DEPARTMENT OF LUER PLOT PLAN APPROVAL

SITE ADDRESS \_\_\_\_\_  
ASSESSOR'S PARCEL NO. \_\_\_\_\_  
USE \_\_\_\_\_

ZONE \_\_\_\_\_ SUP. OF DRAINAGE \_\_\_\_\_  
COUNTERPERSON \_\_\_\_\_ DATE \_\_\_\_\_  
PLANNER \_\_\_\_\_

CENTERLINE ORDINANCE SETBACKS

G.P. Rd:  LCR  CR  MH  PAH

Non-G.P. Rd:  RCS  CS  CSS

ROAD NAME \_\_\_\_\_

EST. C.L. FER \_\_\_\_\_  
 MIN. STRUCT. \_\_\_\_\_  
SETBACK FR. C.L. \_\_\_\_\_

COUNTERPERSON \_\_\_\_\_ DATE \_\_\_\_\_

**SITE DATA**

SITE TOTAL	4.42 ACRES 201,250 SQ. FT.
BUILDING PHASE I	4260 SQ. FT.
MAX. FUTURE EXPANSION	+ 9000 SQ. FT.
PARKING AND DRIVE PHASE I	30500 SQ. FT.
MAX. FUTURE EXPANSION	+ 12,000 SQ. FT.
OPEN SPACE PHASE I	166,890 SQ. FT.
FUTURE	145,390 SQ. FT.
ZONING CODE	COUNTY OF SAN DIEGO 1973 U.B.C.

**PROPERTY OWNER**  
ST. STEPHEN'S EV. LUTHERAN CHURCH  
CONGREGATION REPRESENTATIVE;  
S. CLASEN  
2125 RECHE RD.  
FALLBROOK CAL.  
PHONE 716-7955

**LEGAL DESCRIPTION**

All that portion of the South half of the Southeast quarter of the Southeast quarter of Section 18, Township 9 South, Range 3 West, San Bernardino Meridian, in the County of San Diego, State of California, according to United States Government Survey approved September 11, 1879, described as follows:

Beginning at the Northeast corner of said South half of the Southeast quarter of the Southeast quarter of Section 18; thence along the North line of said South half, South 89°32'30" West 253.58 feet to the Northwesterly corner of the tract of land conveyed to Hildebrand by Phelps, by deed recorded in Book 2075, Page 261 of Official Records; Thence along the Westerly boundary of said land of Hildebrand, South 33°28'40" West 378.84 feet, and South 00°24'30" East 98.17 feet; thence South 36°21' East 60.53 feet; thence South 79°22' East 133.76 feet; thence North 71°58' East 113.36 feet; thence South 54°55'30" East 205.00 feet to the center line of United States Highway No. 395, being a point in a curve concave to the Northwest and having a radius of 500 feet; thence Northwesterly along said curve 30.03 feet to the end of said curve; thence on a tangent to said curve North 49°52'30" East 78.26 feet to a point which bears South 70°39'30" East 192.77 feet and South 8°32' East 310.31 feet from the true point of beginning; thence North 80°32' West 310.31 feet; thence North 70°39'30" West 192.77 feet to the true point of beginning.

**PLANTING SCHEDULE**

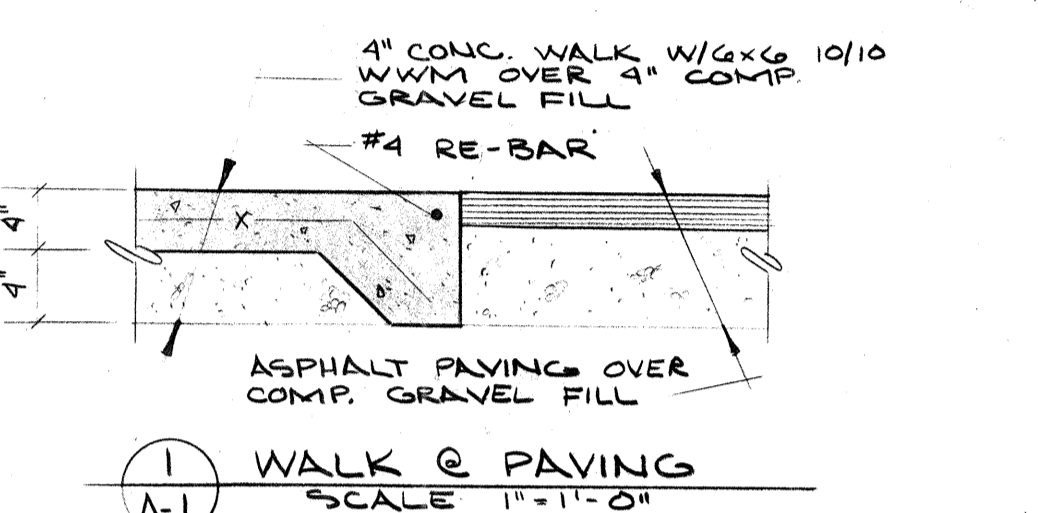
NO.	SIZE	SPECIES
31	1 GAL	ACACIA LATIFOLIA
15	1 GAL	PINUS RADIATA (YOUNG)
9	5 GAL	PINUS RADIATA
1	15 GAL	CUPANIA ANACANDOIDES
1	15 GAL	CUPANIA ANA. (MULTI)
90	1 GAL	CARRISSA PROSTRATA
5	5 GAL	PINUS THUMBERGI
9	5 GAL	CAMILLEA
6	5 GAL	PODOCAPUS MACKOPHYLLA
2	5 GAL	CLIVIA HYERD
6	5 GAL	JUNIPER TUROLOSA
7	5 GAL	STRELITZIA ROEBENICA
6	5 GAL	CUPRESSUS SEMPERVIRENS GLANCA
5	5 GAL	EUKALYPTUS POLYANTHEMOS
15	1 GAL	MOREA IKCOODIDES
12	1 GAL	JUNIPER PROSTRATA GREEN
10	1 GAL	JUNIPER SEA GREEN
100	PLANT	OSTEOSPEONUM

**SYMBOL KEY**

---	W	WATER
---	SS	SANITARY SEWER
---	E	UG. ELECTRIC SERVICE
---	AE	ALT. ROUTE UG. ELECT. SERV.
---	---	O.H. ELECTRIC LINES
---	---	PROPERTY LINES
---	---	EXISTING PLANTINGS
---	---	NEW PLANTINGS
---	---	EXISTING CONTOURS
---	---	PROPOSED CONTOURS
---	---	CHAIN-LINK FENCE (FUT.) 6' HIGH
---	---	SOILS INVESTIGATION TEST PIT

SEE REPORT IN DETAIL MANUAL.

- GENERAL NOTES**
- ALL WORK TO BE DONE IN ACCORDANCE W/ ALL STATE & LOCAL CODES & ORDINANCES.
  - CONTRACTOR TO VERIFY CONDITIONS & DIMENSIONS IN FIELD.
  - ALL NEW LANDSCAPING, TREES TO BE REMOVED, & SPRINKLER SYSTEM - BY OWNER.
  - ROUGH GRADING HAS BEEN COMPLETED. FOR EXISTING GRADES SEE GRADING PLAN BY A.R. BARRY ENGINEERS, PO BOX 348, ENCINITAS, CA. 714-436-8961
  - SEE LANDSCAPING & IRRIGATION PLAN AS DRAWN BY G.J. CLASEN, 2125 RECHE RD., FALLBROOK, CA 714-728-7955
  - FINISH FLOOR ELEVATION OF 822.7' ON THIS SHEET IS EQUAL TO FIN. FLR. ELEV. OF 100' ON OTHER SHTS.
  - TELEPHONE LINE & PHONE SYSTEM TO BE COORDINATED BETWEEN OWNER & PHONE COMPANY. SEE ALSO ELECTRICAL SPECS.
  - DASHED LINE EXTENDING NE FROM FELLOWSHIP HALL & SE FROM CHURCH INDICATES FUTURE EXPANSION.
  - SURVEY HAS BEEN PREPARED BY OWNER.



WALK & PAVING  
SCALE 1" = 1'-0"

PRELIMINARY APPROVAL  
OR TO REAN CHECK  
PER DELANEY 1-5-78  
BY PHONE 4 Hill  
040740

9 CLUSTERS W/ 1/5 GAL PINE # 2-1 GAL PINE # 1-SPRINKLER HEAD EACH

5-5 GALLON EUCALYPTUS POLYANTHEMOS

OSTEOSPEONUM GRND COVER ENTIRE AREA APPROX. 10,000'

3-1 GAL JUNIPER PROSTRATA GREEN W/ 5-1 GAL JUNIPER SEA GREEN

2-5 GALLON CUPRESSUS SEMPERVIRENS GLANCA

NOTE: HATCHED AREA INDICATES 6'-0" DEDICATION FOR HIGHWAY USE

WATER METER  
6" WATER MAIN

**SHEET INDEX**

A-1	SITE PLAN
A-2	PLAN, DETAILS, DOOR & ROOM FINISH SCHEDULE
A-3	ELEVATIONS, SECTIONS, & WINDOW SCHEDULE
A-4	SECTIONS & DETAILS
S-1	MEZZANINE & ROOF FRAMING PLAN, FOUNDATION PLAN, DETAILS
M-1	PLUMBING PLAN, HVAC PLAN, SECTIONS, WATER PIPING, WASTE & VENT RISER DIAGRAMS
E-1	ELECTRICAL PLAN, RISER DIAGRAM
Z-1	GRADING PLAN (NOT ATTACHED SEE GENERAL NOTES)

LANDSCAPING & IRRIGATION PLAN (NOT ATTACHED SEE GENERAL NOTES)



Gerald S. Vanselow  
12-30-77 #5



GERALD S. VANSELOW - ARCHITECT (ADDRESS BELOW)  
CAL. REG. NO. C-8207 PH. 1-414-448-0540  
RICHARD A. LUNDEN - ASSOCIATE ARCHITECT  
2191 EL CAMINO REAL, OCEANSIDE, CALIFORNIA  
CAL. REG. NO. PH. 1-714-757-0092  
GENERAL BOARD FOR HOME MISSIONS  
WISCONSIN EVANGELICAL LUTHERAN SYNOD  
3512 W. NORTH AVE. MILWAUKEE, WISC. 53208  
"BUILDING FOR CHRIST"

NEW CHURCH HOME FOR  
ST. STEPHEN'S EV. LUTHERAN CHURCH  
1680 EAST MISSION ROAD  
FALLBROOK, CALIFORNIA  
PROTOTYPE PLAN NO. A-III-W/F-2-243

**EXHIBIT "A"**

JOB	7020
REV. 1	12/19/77
REV. 2	8/2/77
REV. 3	4/15/77
DATE	12/28/76
DRAWING NO.	A-1



ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				WAINSCOT		CEILING		REMARKS	ROOM NO.
				N	E	S	W	MTL	HGT.	MTL	HGT.		
01	CHANCEL	1	10	30	30	30	30	---	---	40	VARIES	01	
02	SACRISTY	2	11	30	30	30	30	---	---	40	VARIES	02	
03	VESTIBULE	2	11	30	30	30	30	---	---	40	VARIES	03	
04	NAVE	1	11	30	30	---	---	---	---	40	VARIES	04	
05	NARTHEX	1/2	11	30	30	30	30	---	---	42	7'-6"	05	
06	MOTHER'S RM.	1	11	30	30	30	30	---	---	42	VARIES	06	
07	FUTURE STAIR	6	---	---	---	---	---	---	---	---	---	07	
08	CORRIDOR	1	11	30	---	---	---	---	---	41	7'-9"	08	
09	PASTOR'S OFF.	1	11	30	30	30	30	---	---	40	7'-9"	09	
10	MECH. RM.	6	---	---	---	---	---	---	---	41	9'-0"	10	
11	WOMEN'S TLT.	4	13	30	30	30	20	4'-0"	41	9'-0"	SOUND INSULATE WALLS AS SHOWN ON PLAN	11	
12	MEN'S TLT.	4	13	30	30	30	20	4'-0"	41	9'-0"	SOUND INSULATE WALLS AS SHOWN ON PLAN	12	
13	KITCHENETTE	3	12	30	30	30	---	---	---	41	9'-0"	13	
14	FELLOWSHIP HALL	1	11	30	30	30	---	---	---	43	8'-6"	14	
15	MEZZANINE	5	---	---	---	---	---	---	---	40	VARIES	15	

KEY TO FINISH MATERIALS

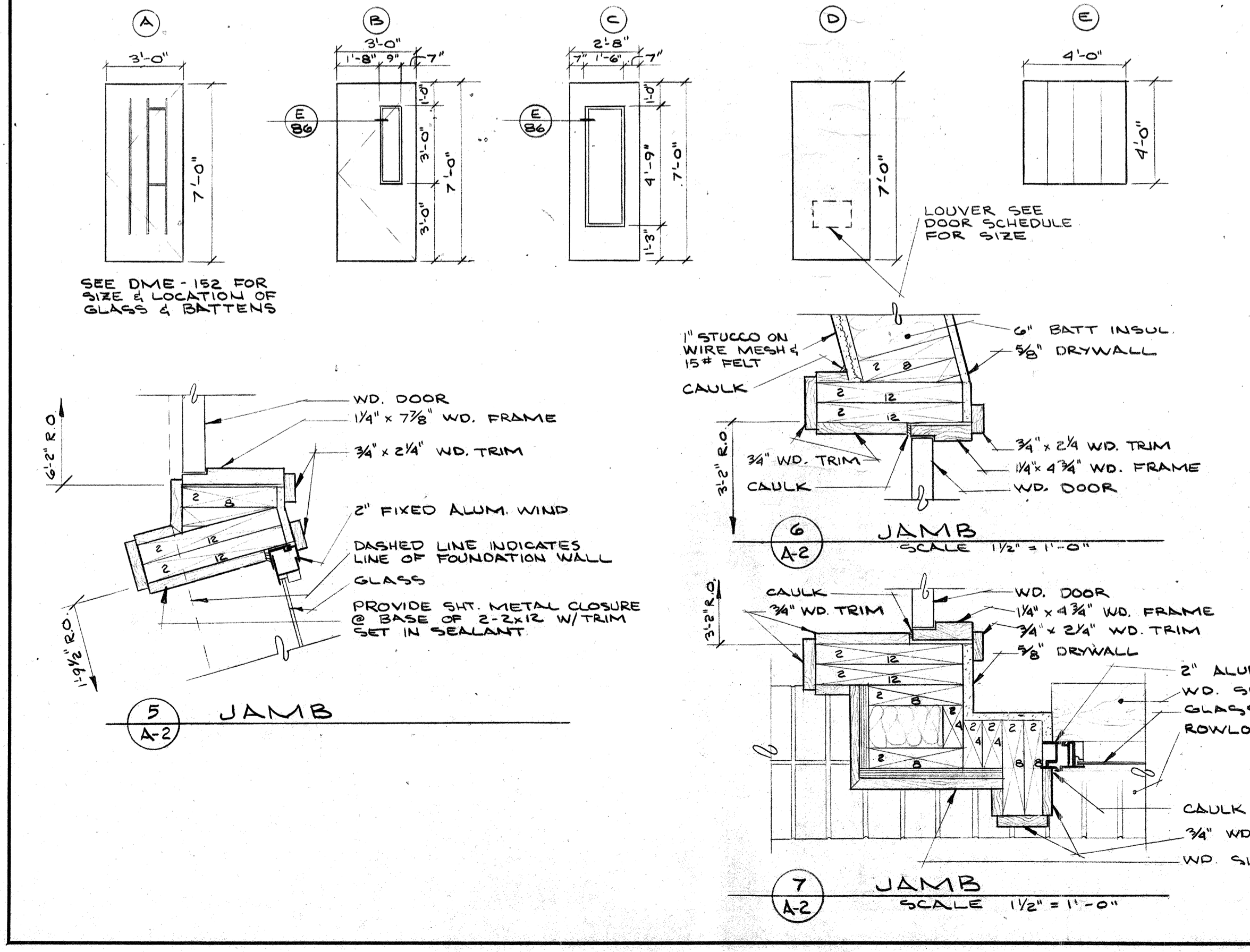
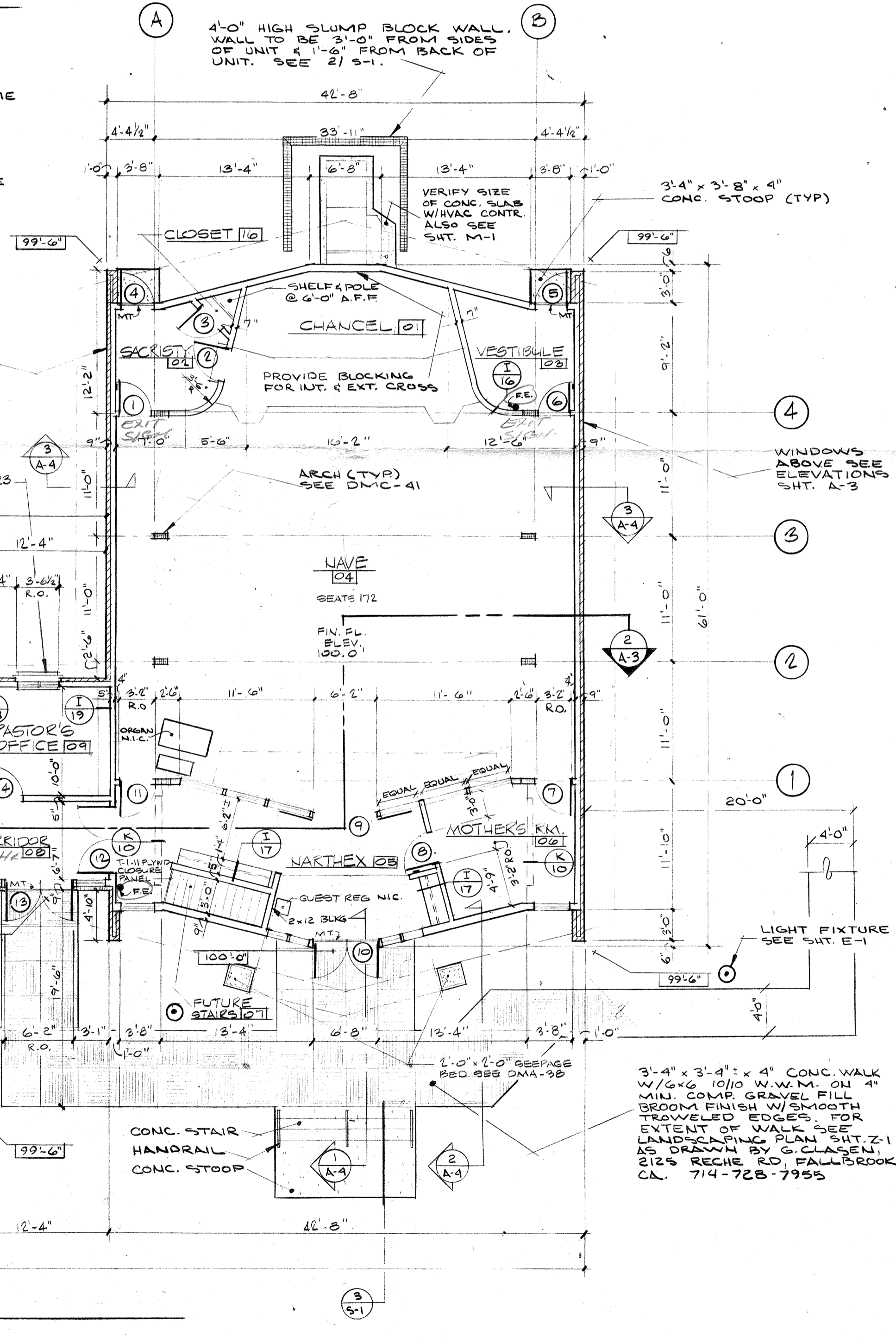
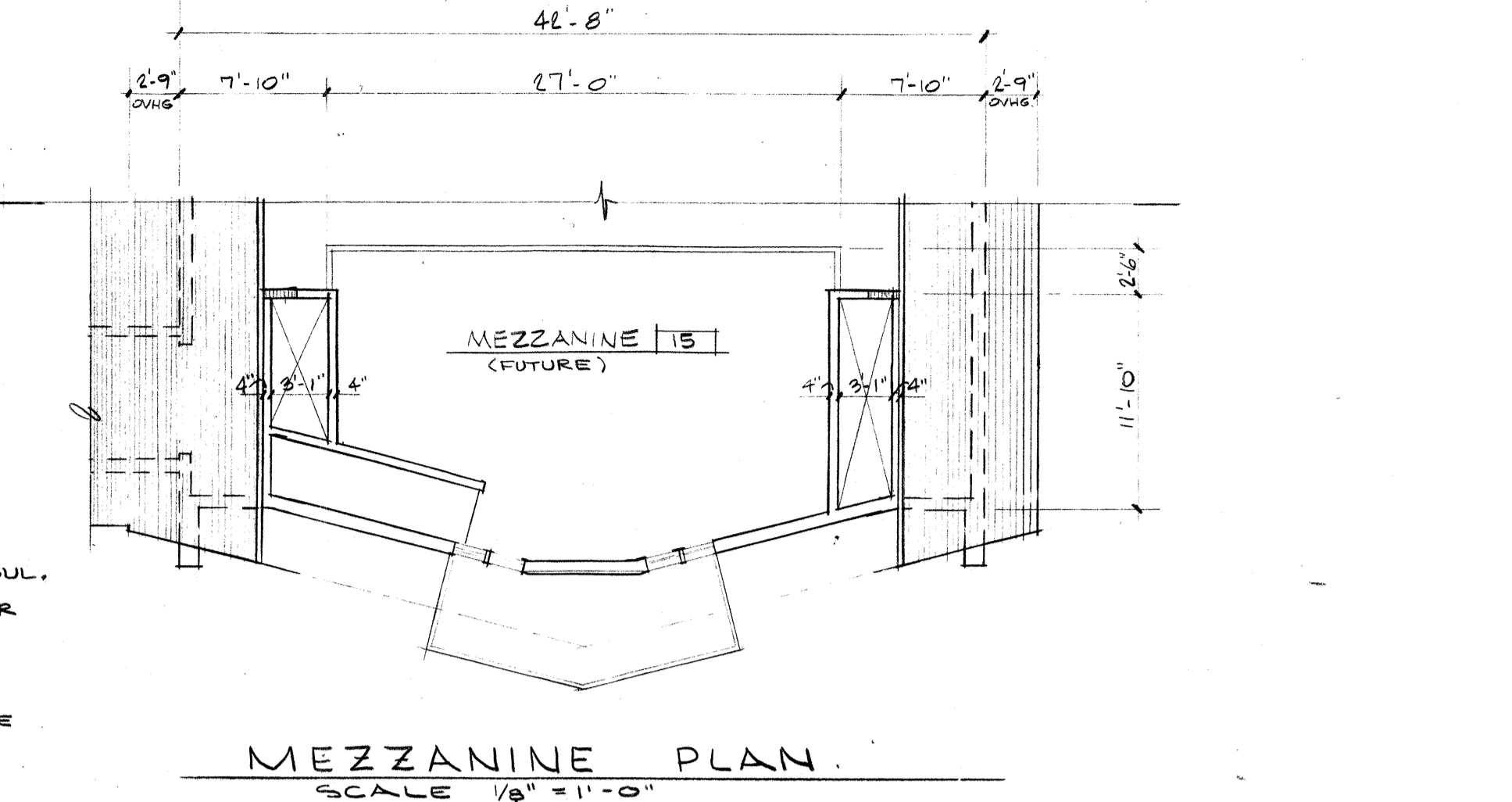
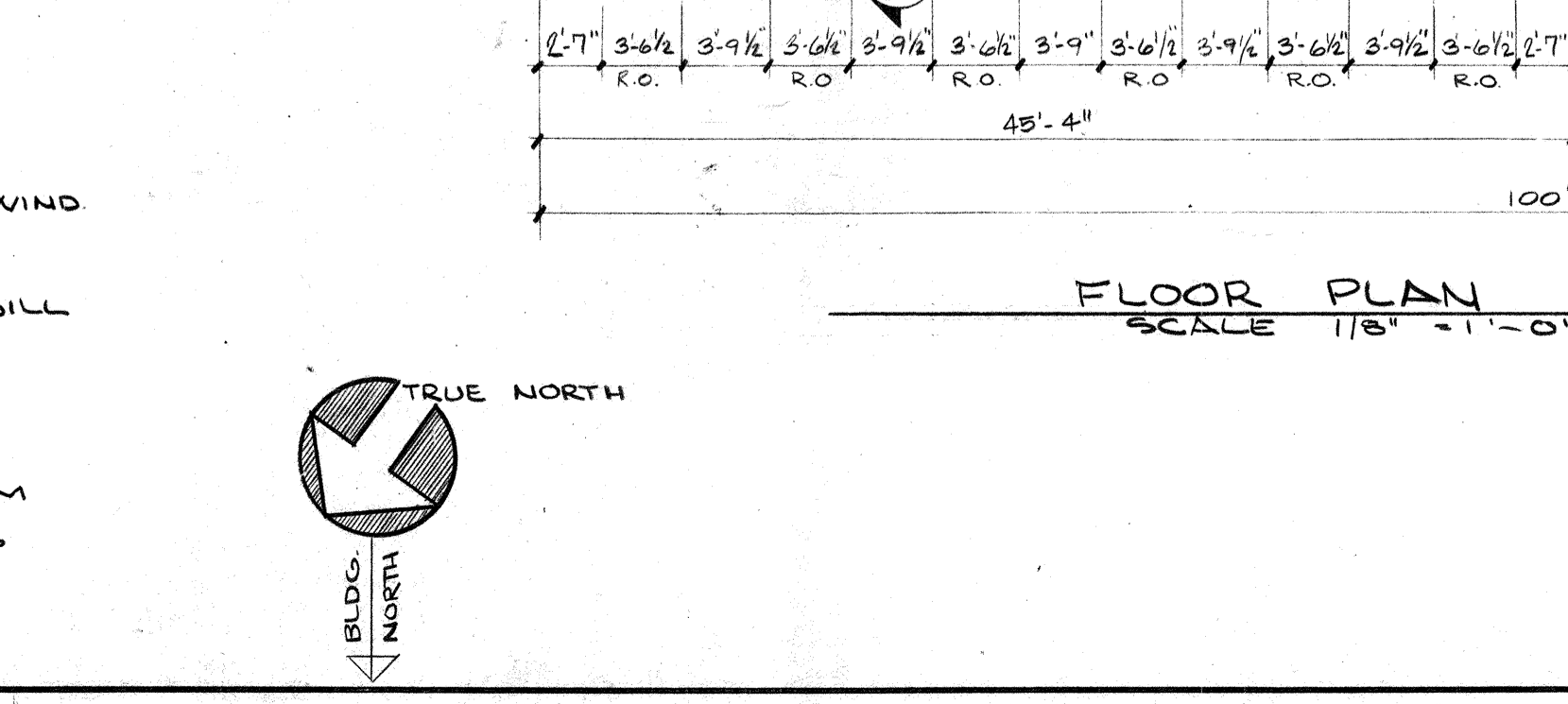
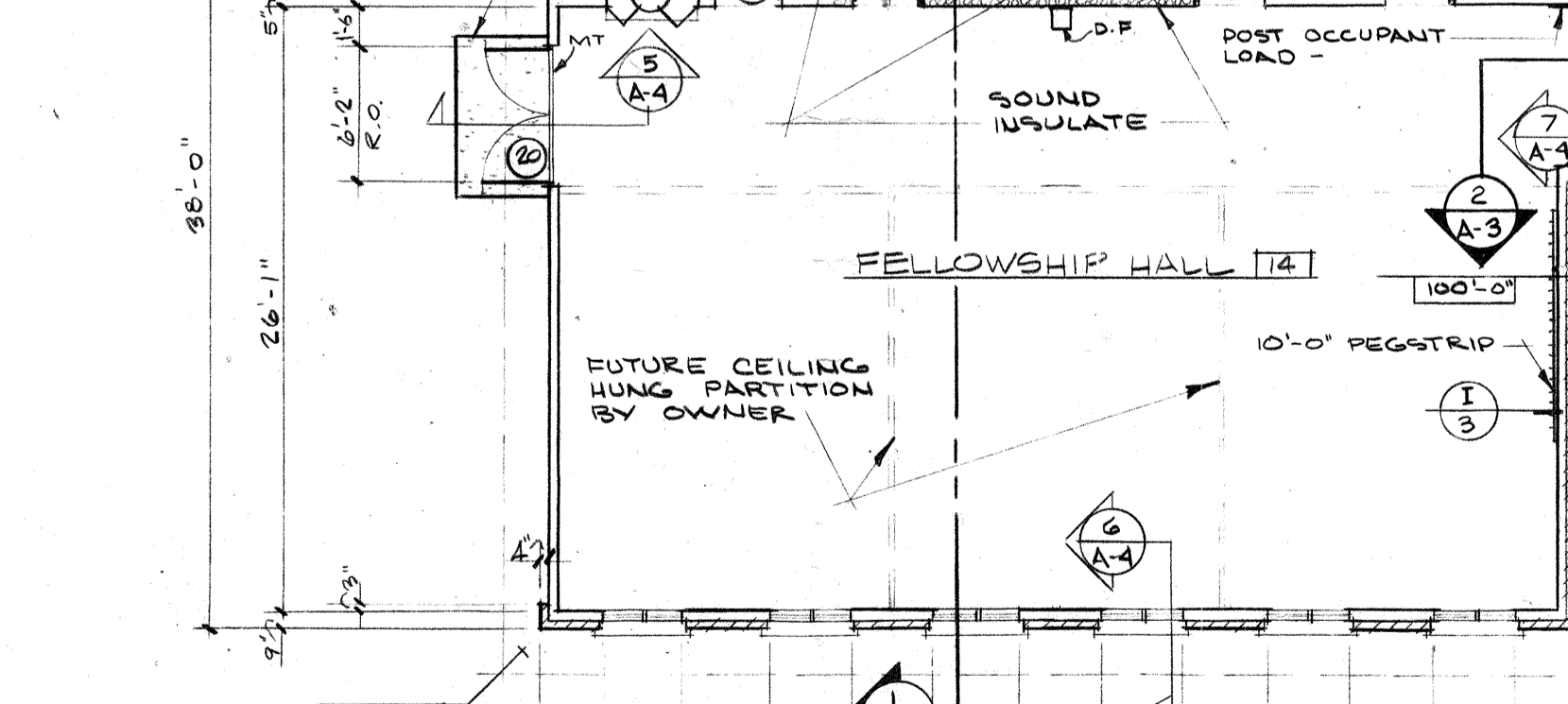
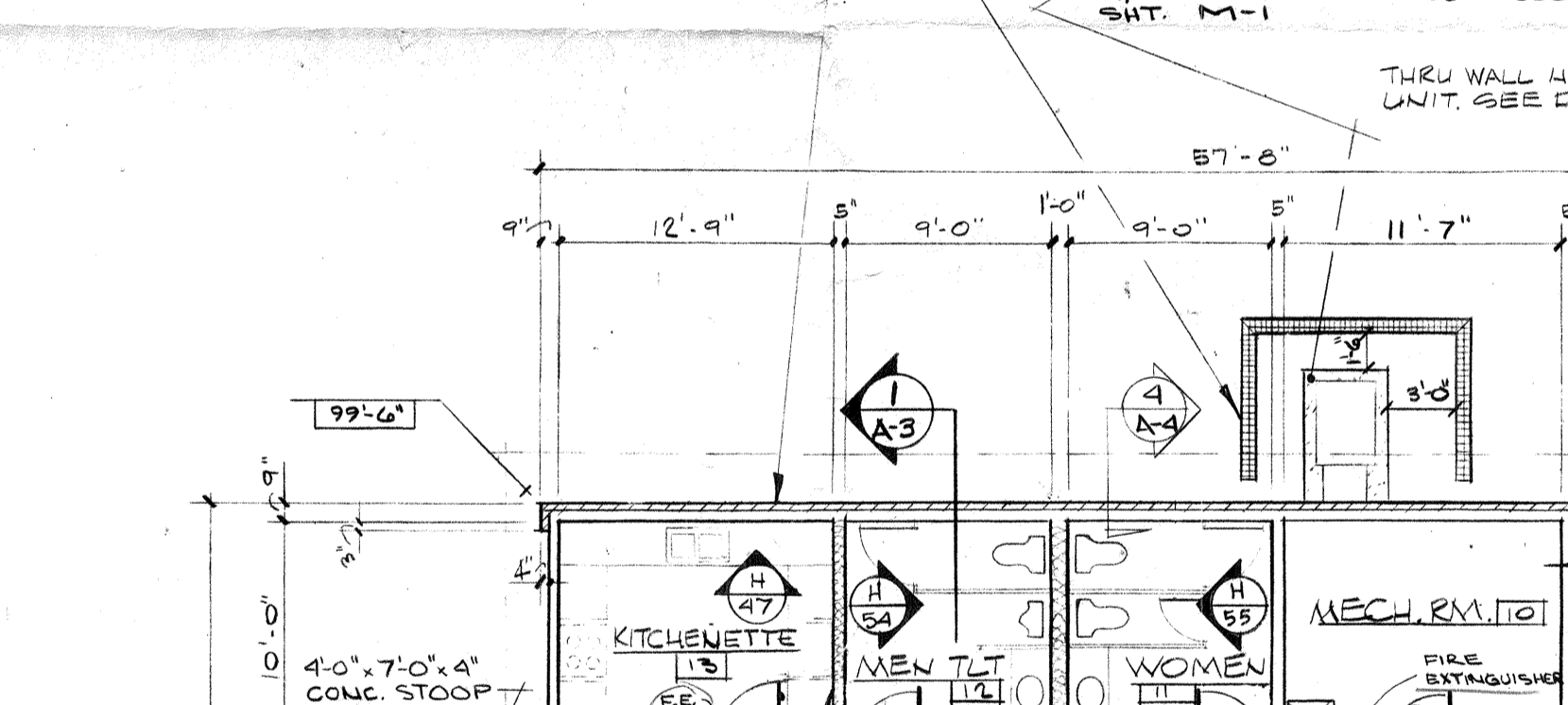
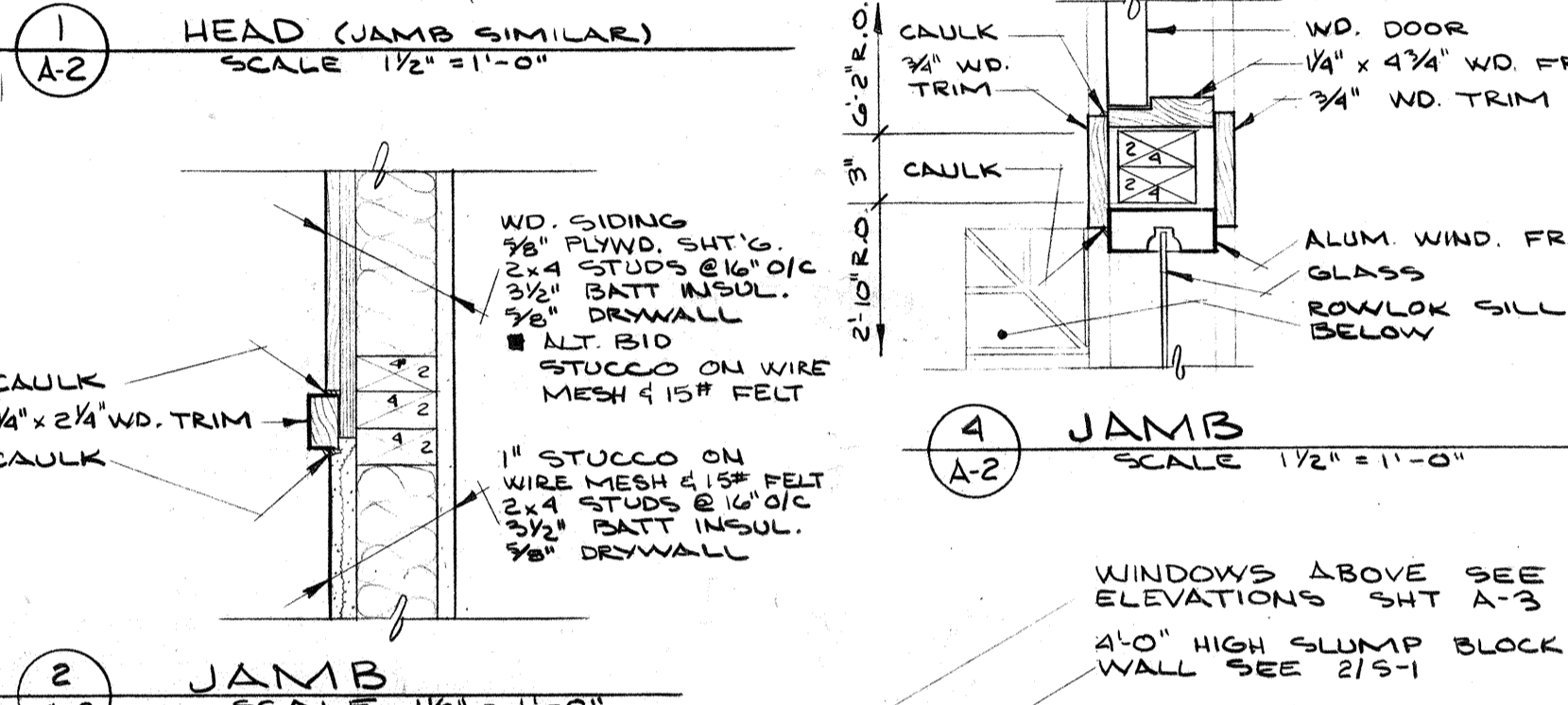
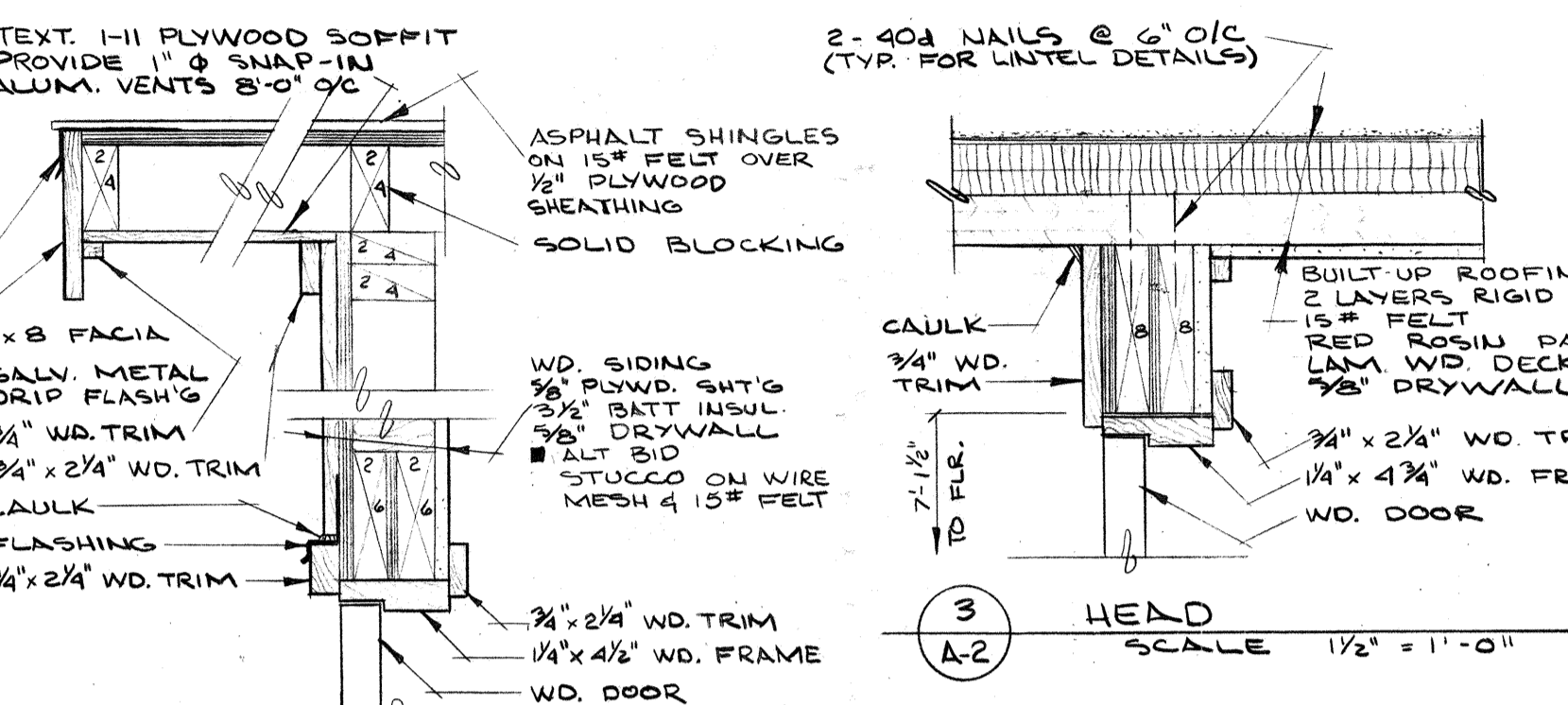
FLOORING	BASE	WAINSCOT	WALLS	CEILING
1. CARPET (BY OWNER)	10. 2 1/2" ONK	20. CERAMIC TILE	30. 5/8" F.R. DRYWALL	40. EXP. WD. DECK
2. VINYL ASS. TILE	11. 2 1/2" VINYL			41. 5/8" F.R. DRYWALL
3. SHEET VINYL	12. 4" VINYL			42. 5/8" F.R. DRYWALL ON RESILIENT CLIPS
4. CERAMIC TILE	13. 6" CERAMIC TILE			43. SUSPENDED ACOUSTICAL TILE
5. EXP. UNDERLAYMENT				
6. EXP. CONC.				

DOOR SCHEDULE

NO.	SIZE	DOOR	TYPE	MTL	JAMB	GLASS	LOUVER	HWRP	HEAD	DETAILS			REMARKS	NO.
										JAMB	SILL	TRHD		
01	3'-0" x 7'-0" x 1 3/4"	D	WOOD	WOOD	---	---	---	105	E-110	E-109	E-110	---	---	01
02	2'-8" x 7'-0" x 1 3/4"	D	---	---	---	---	---	107	E-1	E-2	---	---	---	02
03	2'-8" x 7'-0" x 1 3/4"	D	---	---	---	---	---	106	E-1	E-2	---	---	---	03
04	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	102	E-147	7/A-2	---	E-99a	---	04
05	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	102	E-147	7/A-2	---	E-99a	---	05
06	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	105	E-110	E-109	---	---	---	06
07	3'-0" x 7'-0" x 1 3/4"	B	---	---	---	---	---	104	E-110	E-109	---	---	---	07
08	2'-8" x 7'-0" x 1 3/4"	B	---	---	---	---	---	104	E-1	E-2	---	---	---	08
09	3'-0" x 7'-0" x 1 3/4"	B	---	---	---	---	---	103	E-35	F-53	---	---	---	09
10	3'-0" x 7'-0" x 1 3/4"	A	---	---	---	---	---	101	E-114	5/A-2	---	E-123	---	10
11	3'-0" x 7'-0" x 1 3/4"	B	---	---	---	---	---	104	E-110	E-109	---	---	---	11
12	2'-8" x 7'-0" x 1 3/4"	C	---	---	---	---	---	103	E-1	E-2	---	---	---	12
13	3'-0" x 7'-0" x 1 3/4"	A	---	---	---	---	---	101	3/A-2	4/A-2	---	E-123	---	13
14	3'-0" x 7'-0" x 1 3/4"	B	---	---	---	---	---	106	E-1	E-2	---	---	---	14
15	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	108	E-1	E-2	---	---	---	15
16	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	109	E-1	E-2	---	---	---	16
17	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	109	E-1	E-2	---	---	---	17
18	3'-0" x 7'-0" x 1 3/4"	D	---	---	---	---	---	111	E-1	E-2	---	---	---	18
19	4'-0" x 4'-0" x 1 1/8"	E	---	---	---	---	---	110	E-64	E-55	E-62	---	---	19
20	3'-0" x 7'-0" x 1 3/4"	B	---	---	---	---	---	101	1/A-2	1/A-2	---	E-123	---	20

GENERAL NOTES

- CONTRACTOR TO VERIFY CHANCEL PLATFORM LAYOUT W/ARCHITECT.
- CONTRACTOR TO PROVIDE BLOCKING FOR INTERIOR CROSS, EXTERIOR CLUSTER CROSS, GUEST REGISTER, & TOILET PARTITION.
- CHANCEL FURNITURE & NAIVE SEATING N.I.C.
- CONTRACTOR TO VERIFY DIMENSIONS & CONDITIONS @ SITE.
- ALL FRAMING TO BE 2"x4" @ 16" O/C STUDWALL UNLESS OTHERWISE NOTED, NAILING TO MEET SEISMIC CODE FOR SHEAR.
- SEE SHEETS M-1 & E-1 FOR SUBSYSTEMS & LOCATION OF EQUIPMENT.
- SEE STRUCTURAL DRAWINGS & DETAIL MANUAL FOR SHEAR WALLS & DETAILS.



GERALD S. VANSELOW - ARCHITECT  
 N.C.A.A.R.B. REG. NO. 8039  
 CALIFORNIA REG. NO. C-6007  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 3512 W. NORTH AVE. MILWAUKEE, WISC. 53208

A NEW CHURCH HOME FOR  
 ST. STEPHEN EV. LUTHERAN CHURCH  
 1636 EAST MISSION ROAD  
 FALLBROOK, CALIFORNIA

FIRST FLOOR PLAN  
 DETAILS  
 DOOR & ROOM FINISH  
 SCHEDULE

JOB #7620  
 DATE 12/19/77  
 DRAWING NO. A-2

Gerald S. Vanselow  
 c. 8207

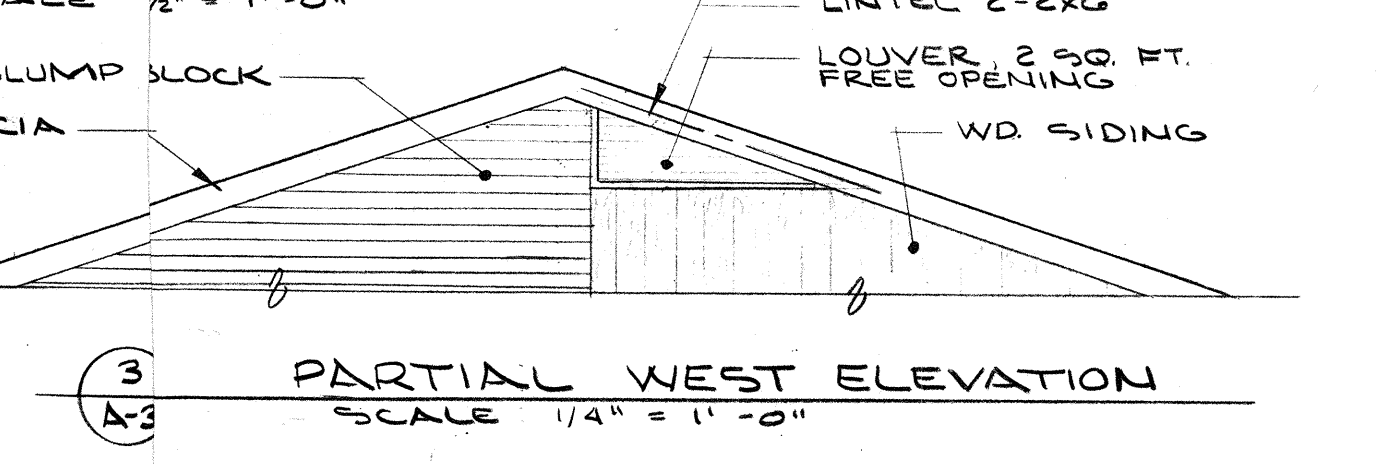
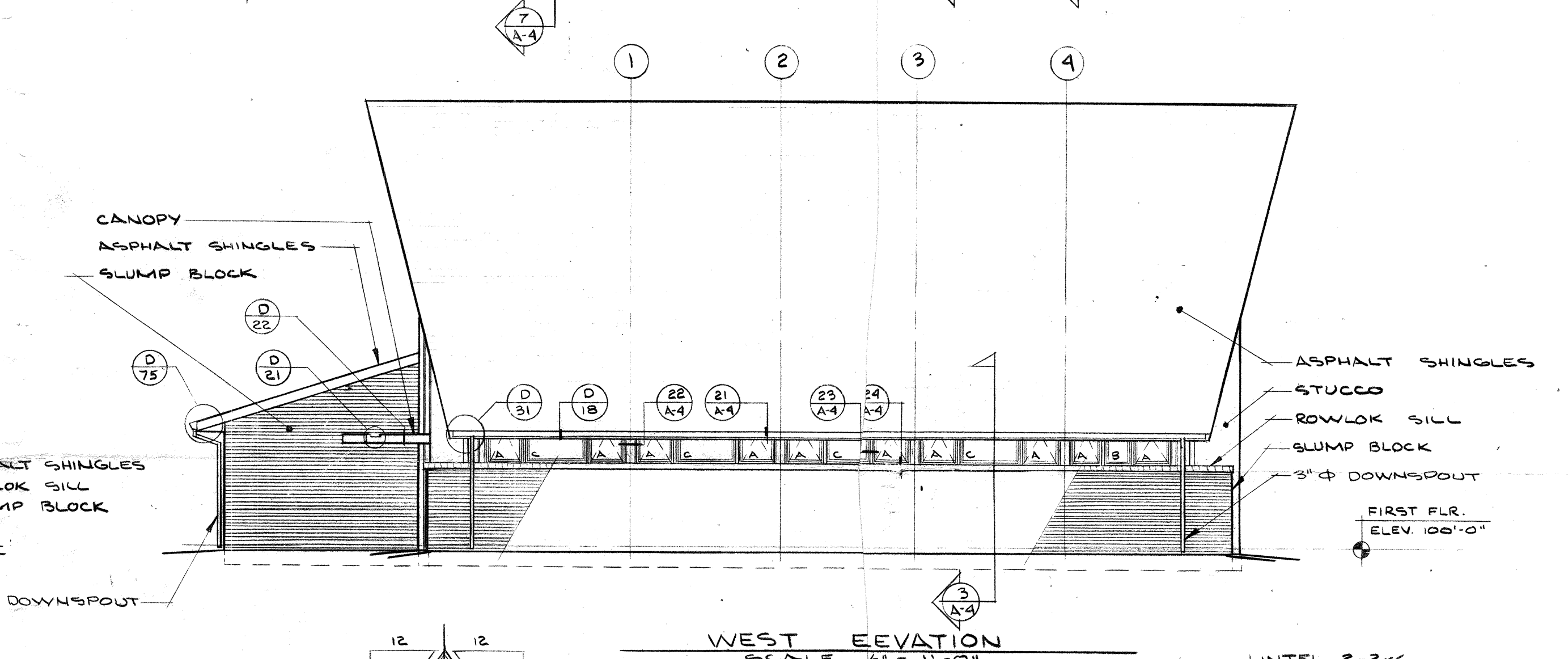
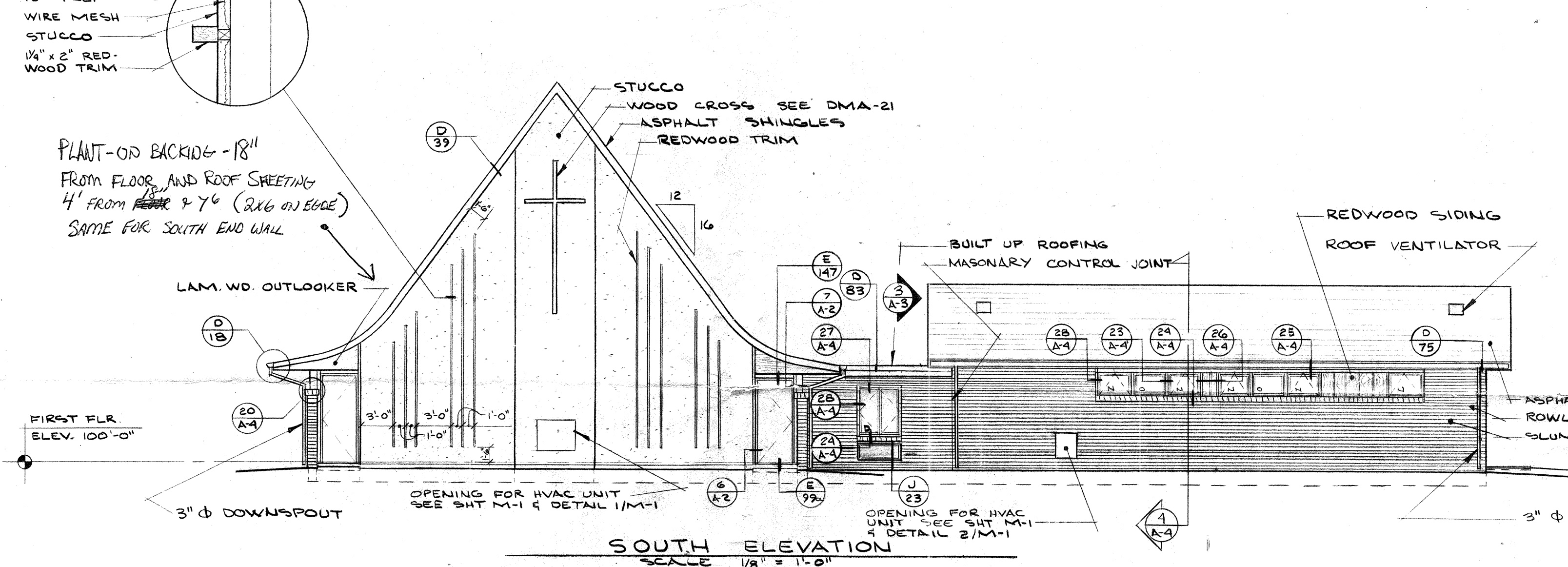
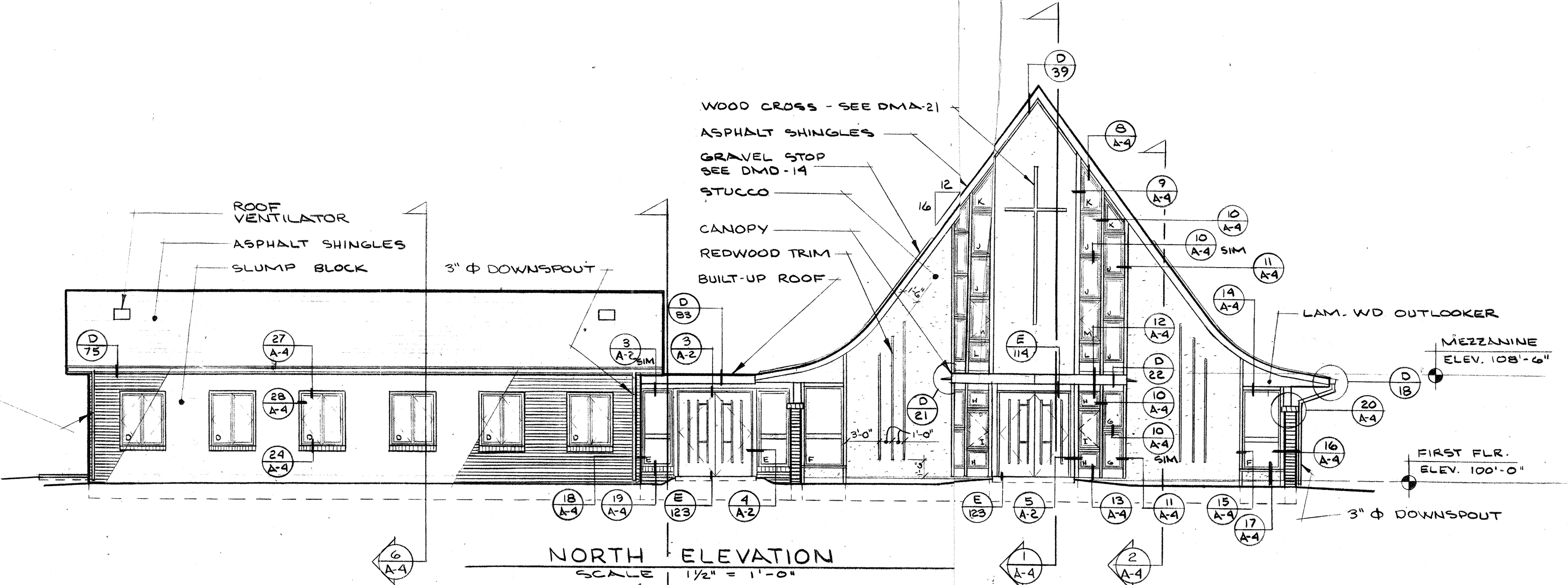
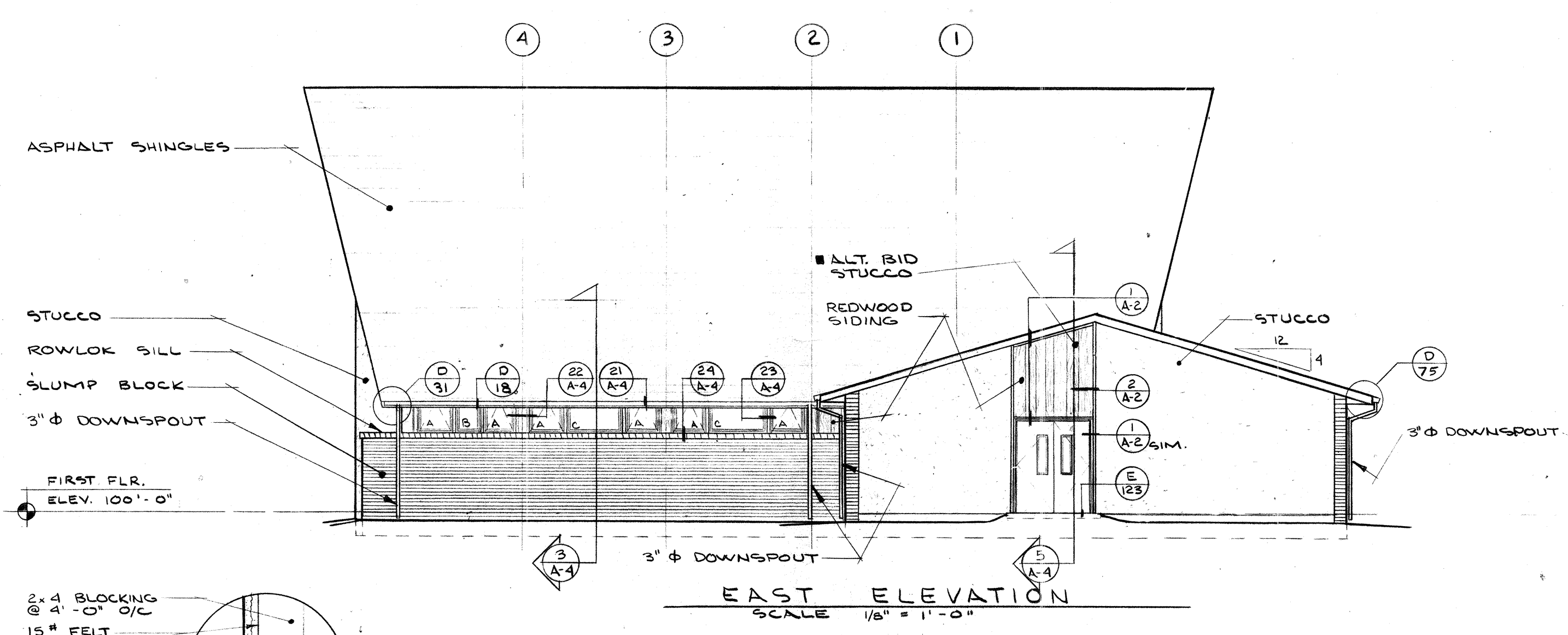


GERALD S. VANSELOW - ARCHITECT  
 N.C.A.A.B. REG. NO. 60399  
 CALIFORNIA REG. NO. C-6207  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 3512 W. NORTH AVE. MILWAUKEE, WISC. 53208

A NEW CHURCH HOME FOR  
 ST. STEPHEN EV. LUTHERAN CHURCH  
 1636 EAST MISSION ROAD  
 FALLBROOK, CALIFORNIA

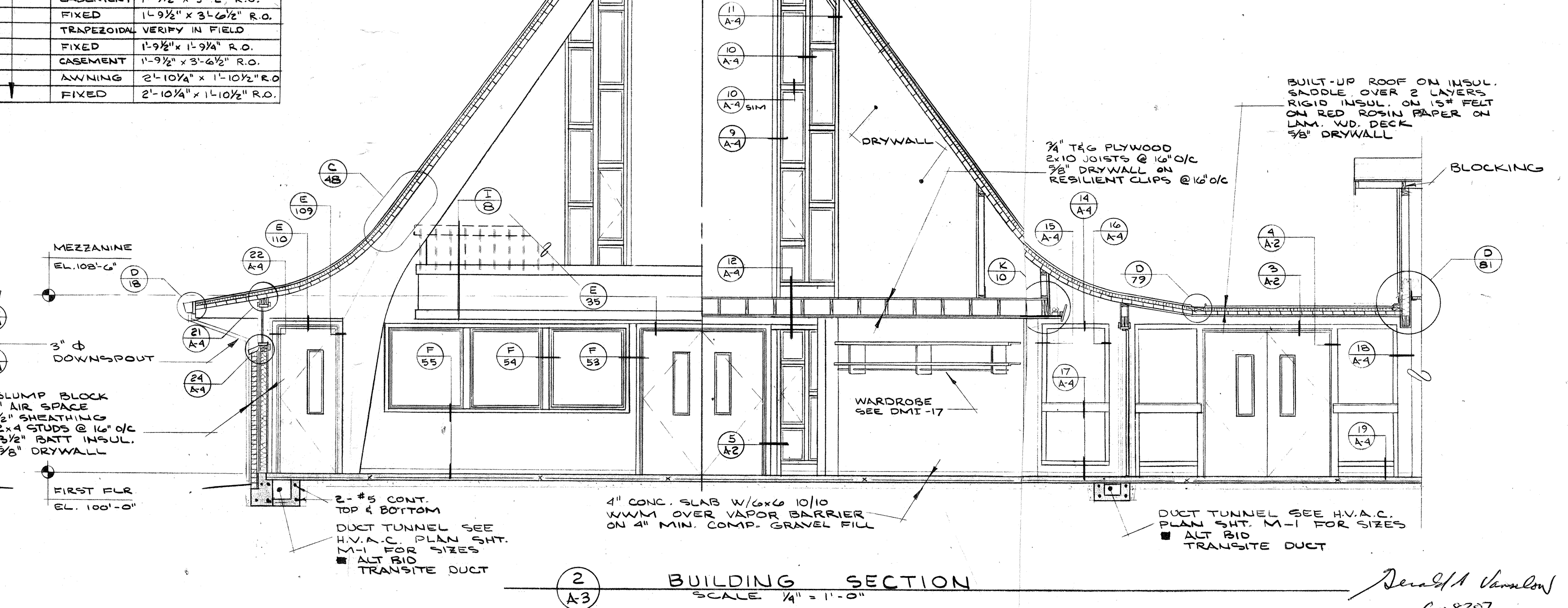
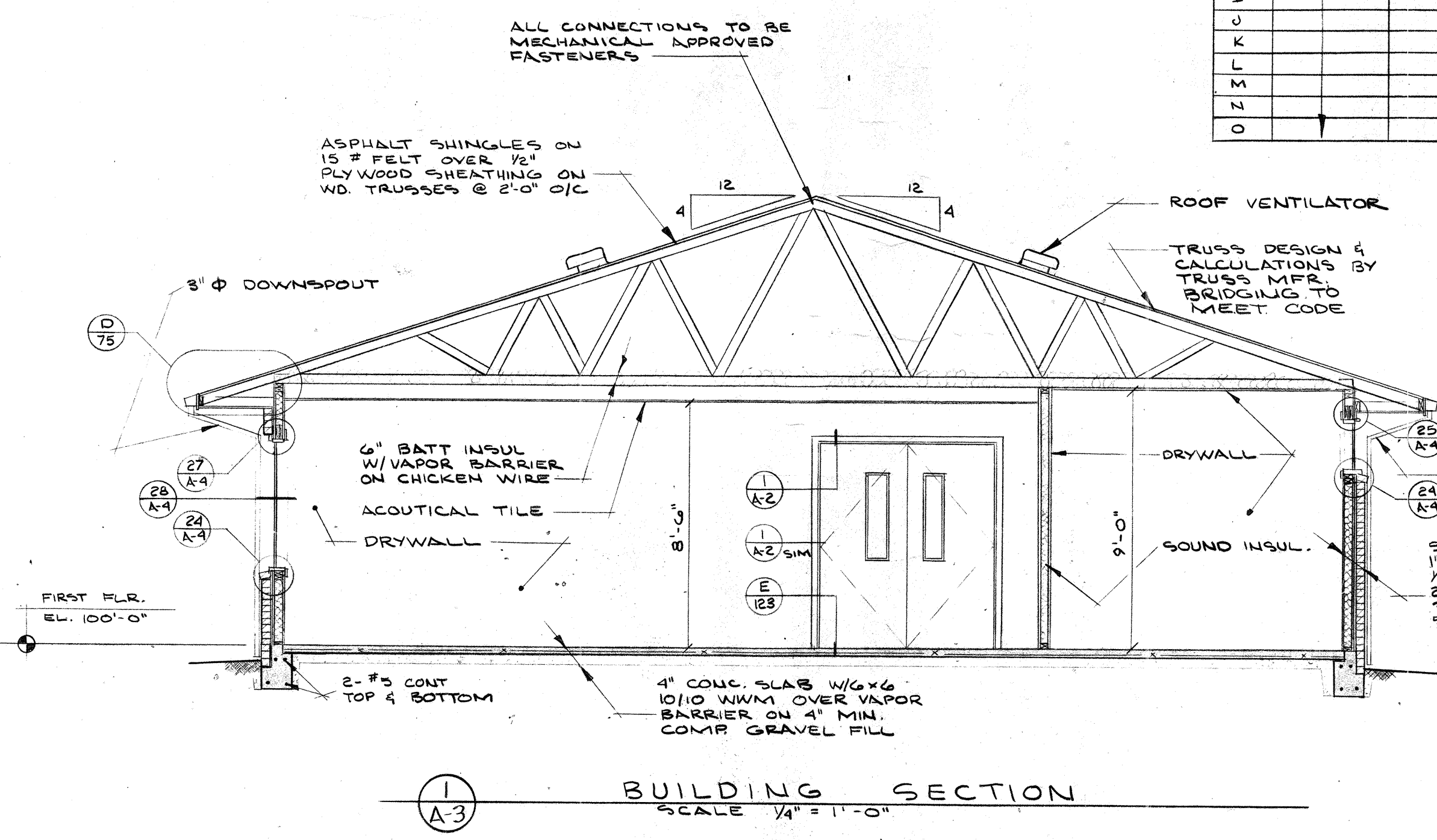
ELEVATIONS WINDOW SCHEDULE BUILDING SECTIONS

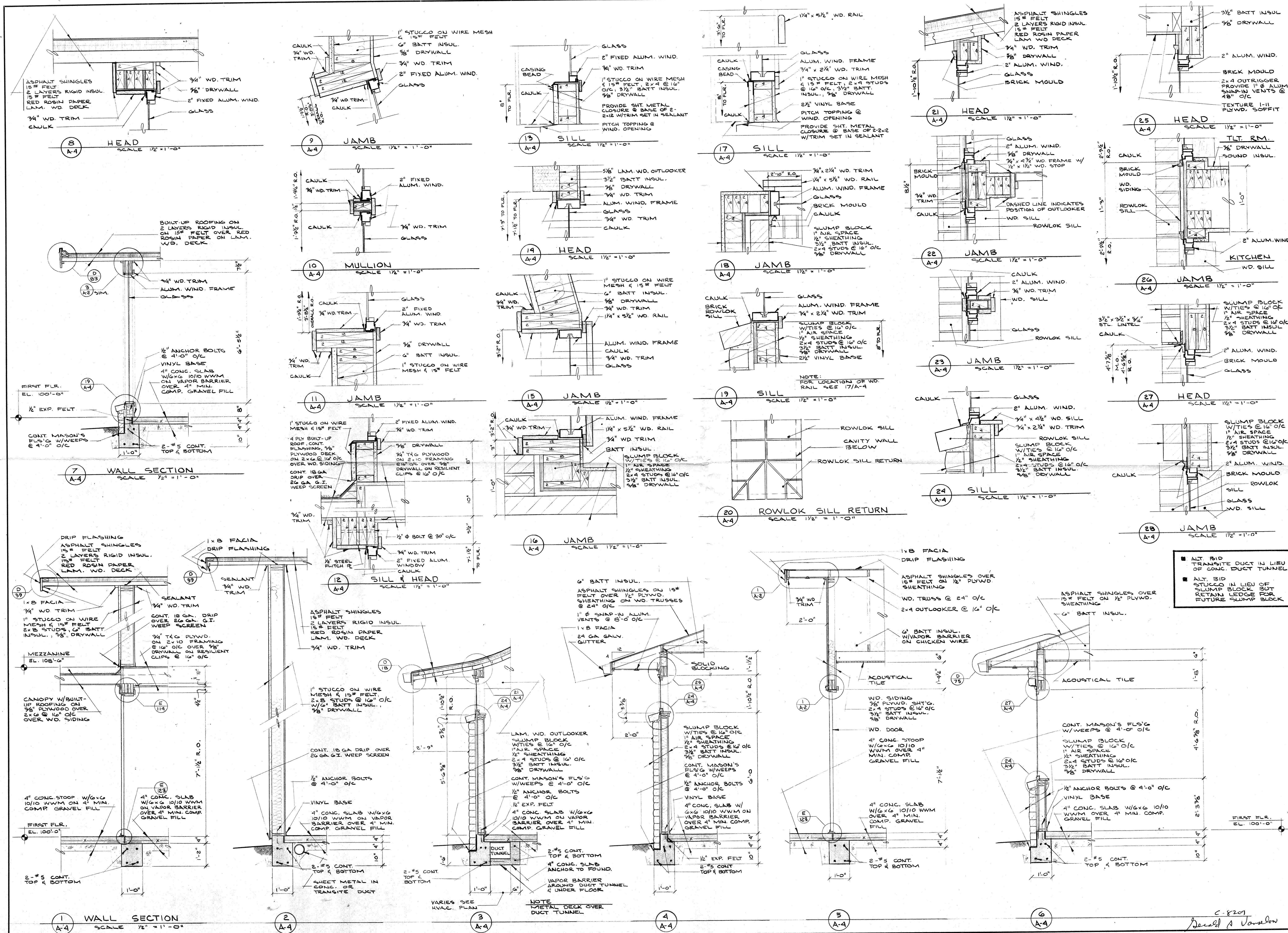
JOB # 7620  
 DATE 12/19/77  
 DRAWING NO. A-3  
 C-8207



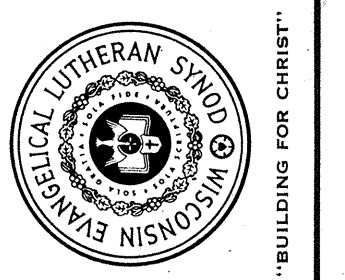
- NOTES**
- 1) DOWNSPOUTS TO BE CONNECTED TO UNDERGROUND DRAINAGE SYSTEM
  - 2) ALT. BID STUCCO IN LIEU OF SLUMP BLOCK BUT RETAIN LEDGE FOR FUTURE SLUMP BLOCK.
  - 3) FOR SHEAR WALLS SEE SHT. S-1 & DETAILS.

WINDOW SCHEDULE				
MARK	MANUFACT.	MATERIAL	TYPE	SIZE
A	WIND. MASTER	ALUMINUM	AWNING	2'-9 1/2" x 1'-10 1/2" R.O.
B			FIXED	1'-11 1/2" x 1'-10 1/2" R.O.
C			FIXED	4'-5 1/2" x 1'-10 1/2" R.O.
D			CASEMENT	3'-6 1/2" x 4'-6 1/2" R.O.
E	KAWNEER		FIXED	3'-2" x 6'-5 1/2" R.O.
F	KAWNEER		FIXED	2'-10 1/2" x 6'-5 1/2" R.O.
G	WIND MASTER		FIXED	1'-9 1/2" x 3'-2" R.O.
H			FIXED	1'-9 1/2" x 1'-6 1/4" R.O.
I			CASEMENT	1'-9 1/2" x 3'-2" R.O.
J			FIXED	1'-6 1/2" x 3'-6 1/2" R.O.
K			TRAPEZOIDAL	VERIFY IN FIELD
L			FIXED	1'-9 1/2" x 1'-9 1/4" R.O.
M			CASEMENT	1'-9 1/2" x 3'-6 1/2" R.O.
N			AWNING	2'-10 1/4" x 1'-10 1/2" R.O.
O			FIXED	2'-10 1/4" x 1'-10 1/2" R.O.





■ ALT. BID TRANSMIT DUCT IN LIEU OF CONC. DUCT TUNNEL  
 ■ ALT. BID STUCCO IN LIEU OF SLUMP BLOCK BUT RETAIN LEDGE FOR FUTURE SLUMP BLOCK



GERALD S. VANSLOW - ARCHITECT  
 N.C.A.R.B. REG. NO. 8039  
 CALIFORNIA REG. NO. C-8207  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 3512 W. NORTH AVE. MILWAUKEE, WISC. 53208

A NEW CHURCH HOME FOR  
 ST. STEPHEN EV. LUTHERAN CHURCH  
 1636 EAST MISSION ROAD  
 FALLSBROOK, CALIFORNIA

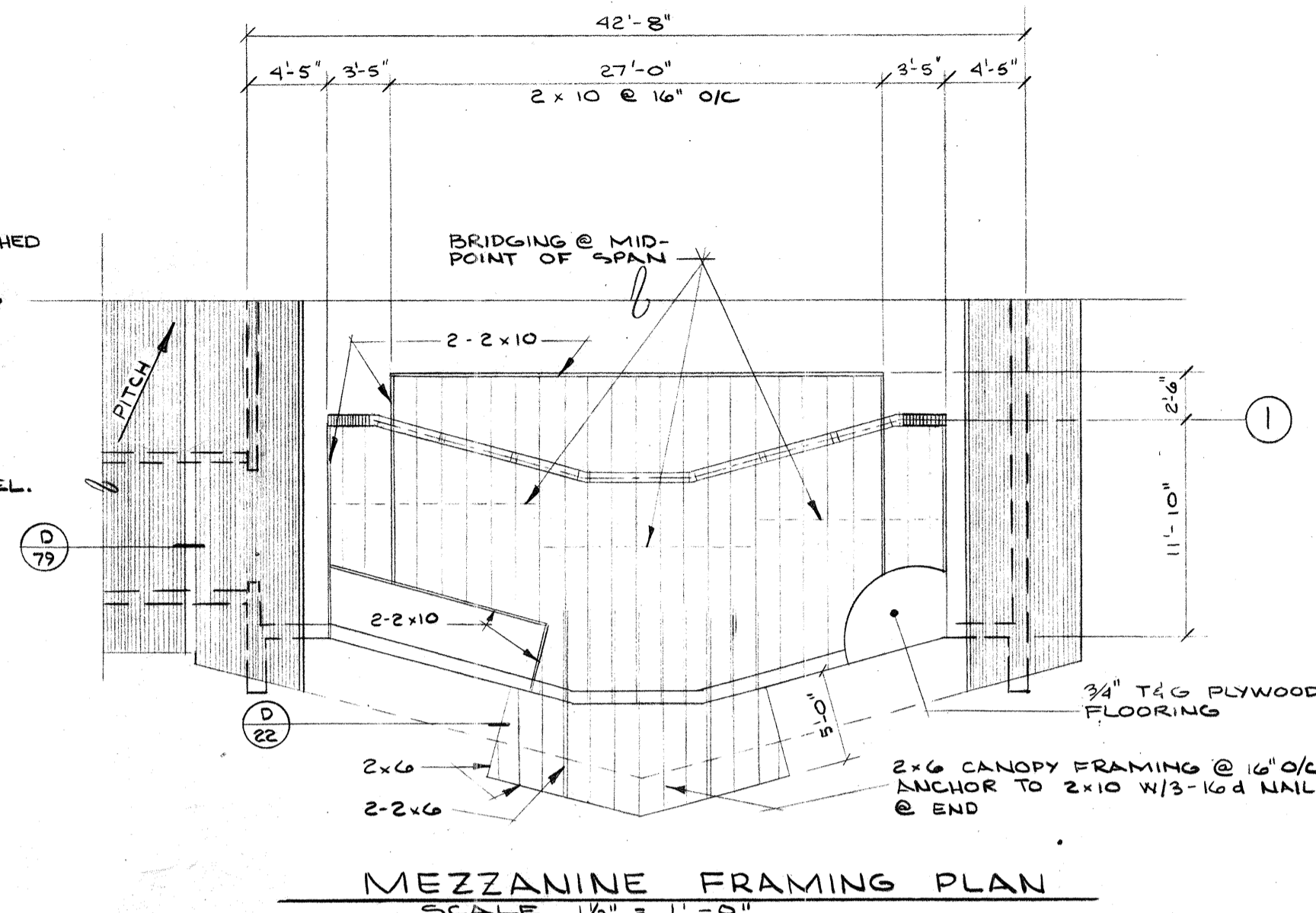
WALL SECTIONS  
DETAILS

JOB	# 7620
DATE	12/19/77
DRAWING NO.	A-4

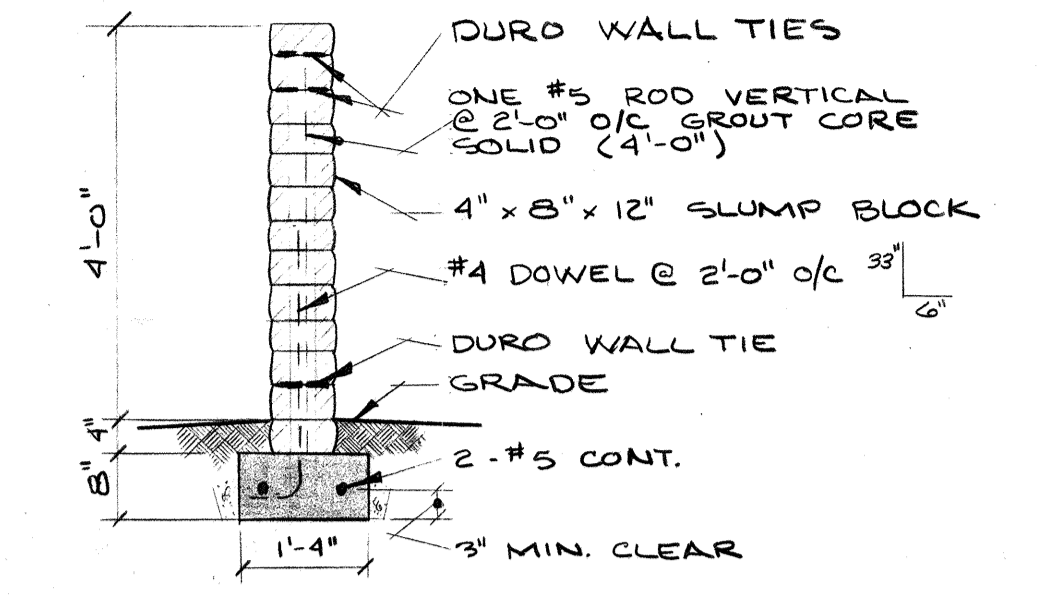
C-8207  
 Gerald S. Vanslow

**STRUCTURAL NOTES**

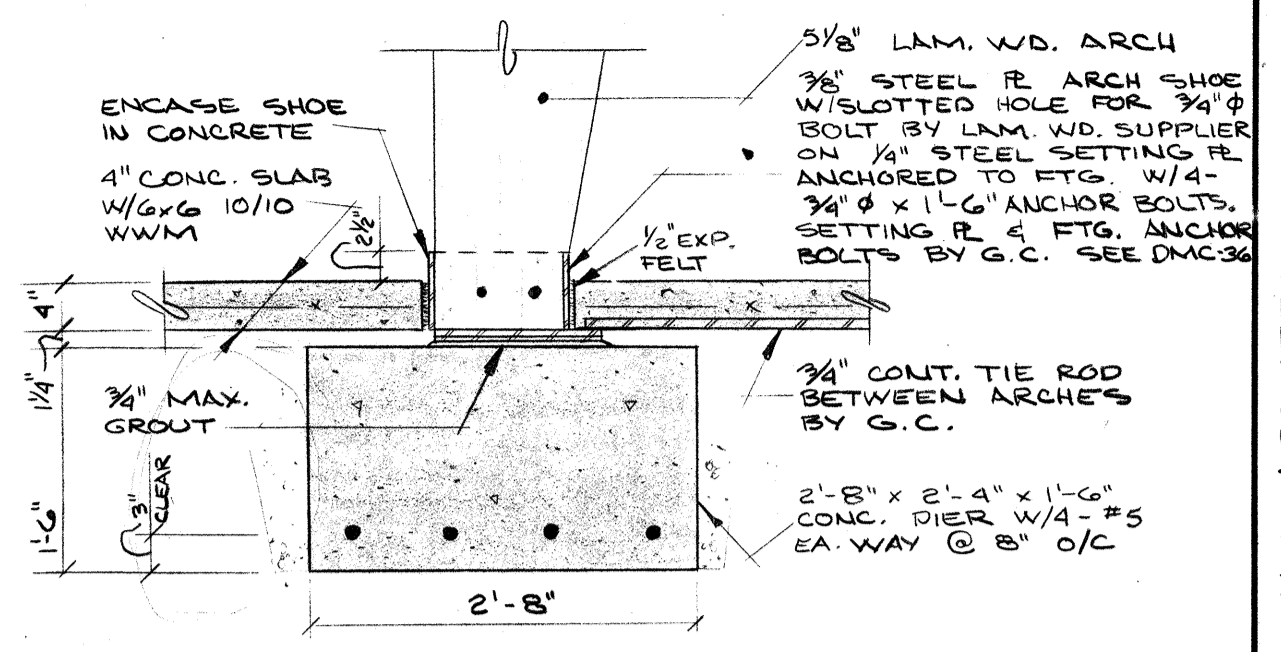
- 1) MATERIAL STRENGTHS  
 CONCRETE  $f_c = 3000$  PSI  
 STEEL  
 STRUCTURAL  $f_y = 36,000$  PSI  
 REINFORCING  $f_y = 60,000$  PSI  
 WOOD FRAMING  $E = 1,700,000$  PSI  
 #2 OR COUNT GRADE  $E = 1,700,000$  PSI  
 SOIL BEARING 2000 PSF
- 2) DESIGN LOADS  
 FLOOR 100 PSF  
 ROOF @ CHURCH 20 PSF  
 ROOF @ FELL. HALL 20 PSF  
 WIND 20 PSF  
 SEISMIC ZONE 3
- 3) ARCHES MUST BE DESIGNED TO RESIST A 12,400 LBS MOMENT ABOUT THE WEAK AXIS @ 11'-0" ABOVE FLOOR.
- 4) DESIGN LOADS & STRESSES SHALL CONFORM TO THOSE ESTABLISHED BY THE COUNTY OF SAN DIEGO AND/OR THE UNIFORM BUILDING CODE.
- 5) ARCH MANUFACTURER TO FURNISH ARCH & DECK CALCULATIONS TO ARCHITECT FOR APPROVAL BY BUILDING OFFICIAL.
- 6) BOTTOM OF FOUNDATION TO BE A MIN. OF 1'-0" BELOW FINISH GRADE. SOILS ENGINEER TO CHECK SOIL BEARING CAPACITY PRIOR TO POURING FOOTINGS.
- 7) IF EXPANSIVE SOILS ARE ENCOUNTERED PRESATURATE SLAB SUB-BASE PRIOR TO POURING SLABS.
- 8) SOIL INVESTIGATION IS IN THE APPENDIX TO THE DETAIL MANUAL.



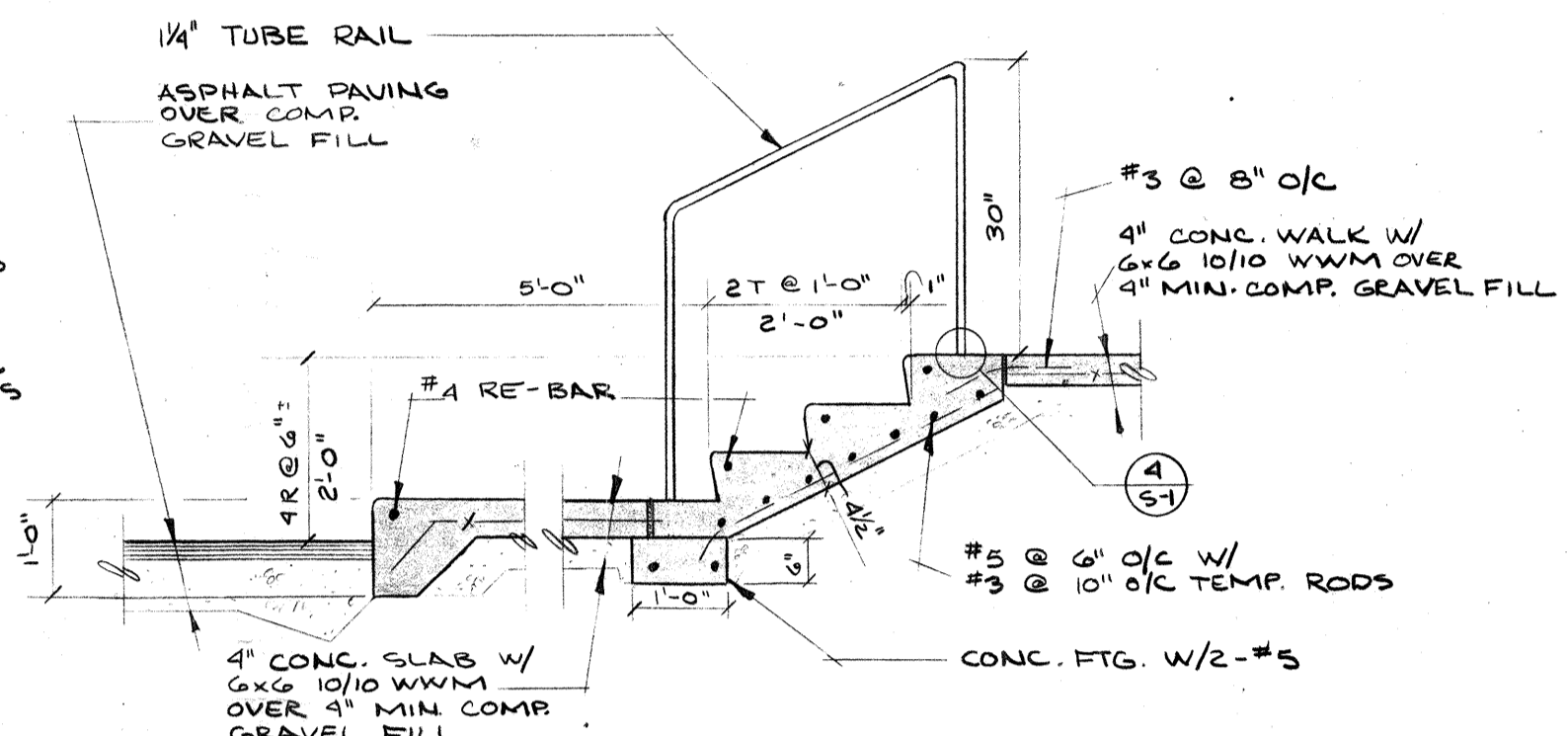
**MEZZANINE FRAMING PLAN**  
SCALE 1/2" = 1'-0"



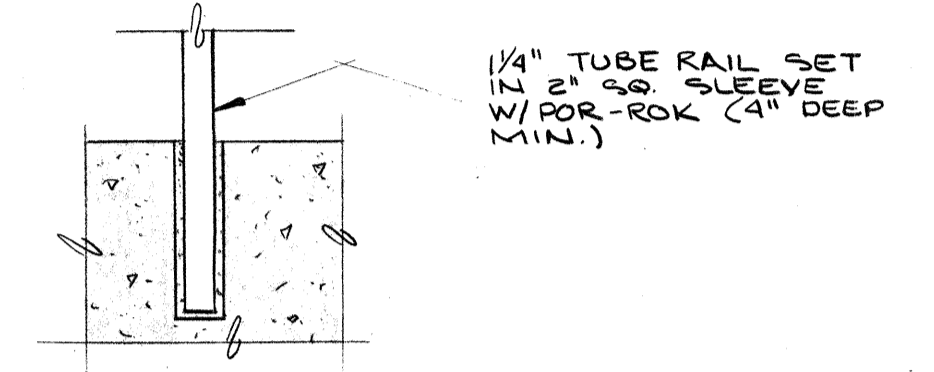
**SLUMP BLOCK WALL**  
SCALE 1/2" = 1'-0"



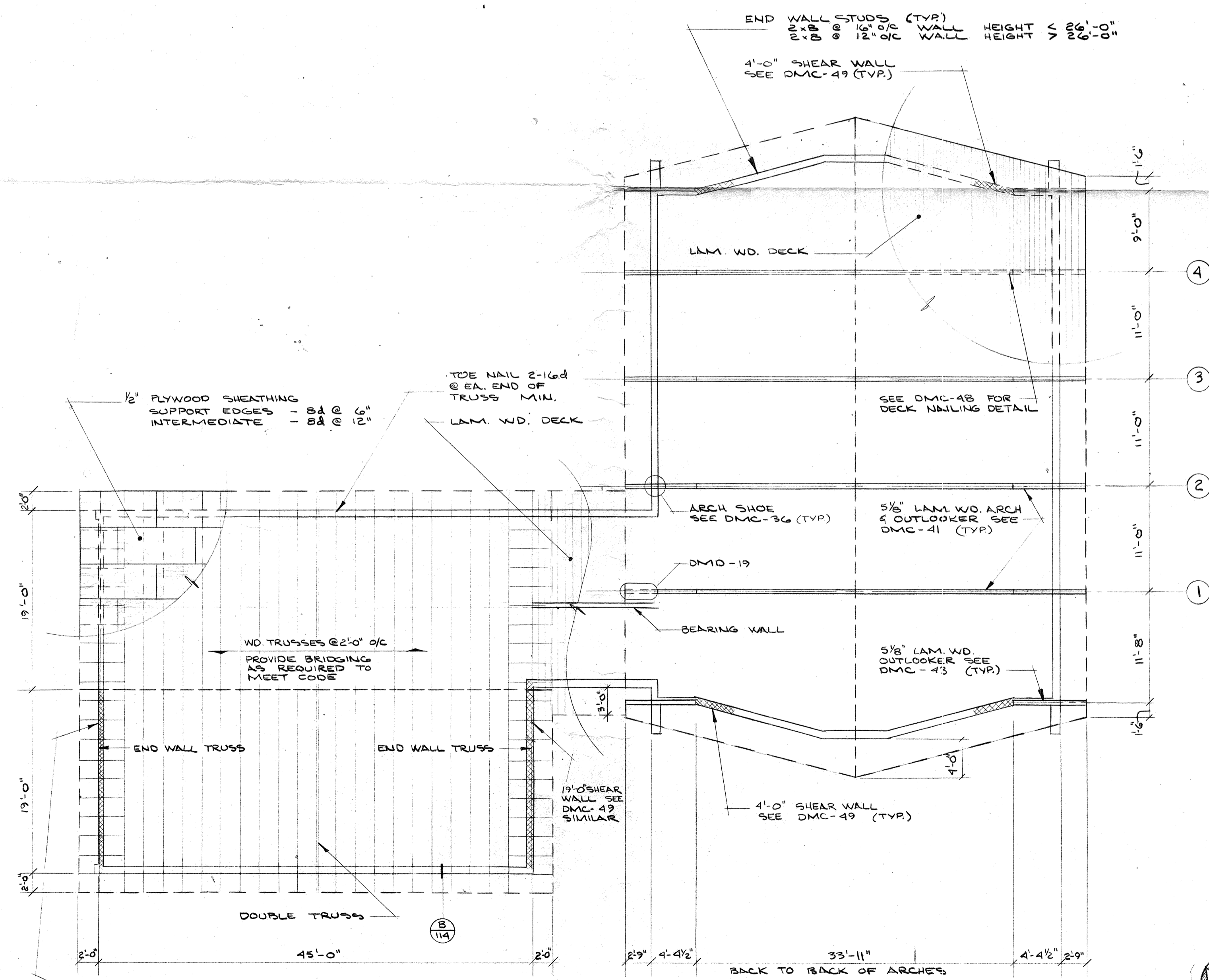
**PIER DETAIL**  
SCALE 3/4" = 1'-0"



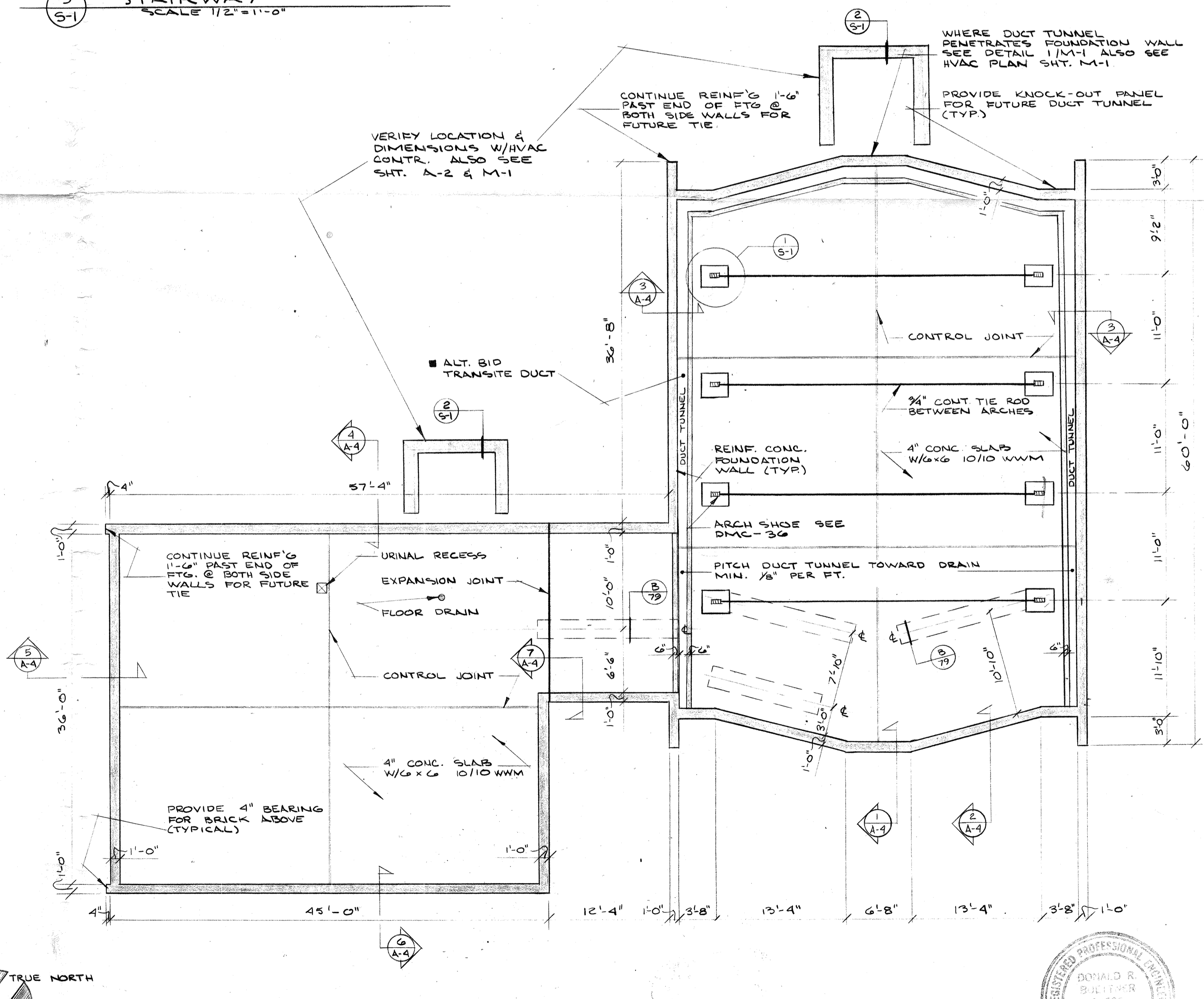
**STAIRWAY**  
SCALE 1/2" = 1'-0"



**HANDRAIL**  
SCALE 3/4" = 1'-0"



**ROOF FRAMING PLAN**  
SCALE 1/2" = 1'-0"



**FOUNDATION PLAN**  
SCALE 1/2" = 1'-0"

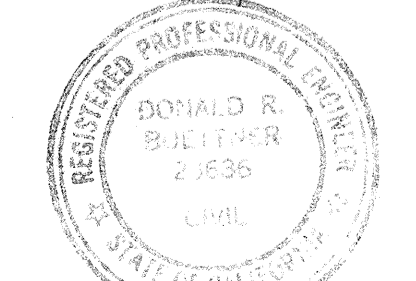
GERALD S. VANSELOW - ARCHITECT  
 N.C.A.R.B. REG. NO. 8039  
 CALIFORNIA REG. NO. C-8207  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 3512 W. NORTH AVE. MILWAUKEE, WISC. 53208  
 "BUILDING FOR CHRIST"

A NEW CHURCH HOME FOR  
**ST. STEPHEN EV. LUTHERAN CHURCH**  
 1636 EAST MISSION ROAD  
 FALLBROOK CALIFORNIA

ROOF FRAMING PLAN  
 FOUNDATION FRAMING PLAN  
 MEZZANINE FRAMING PLAN  
 STRUCTURAL NOTES  
 DETAILS

JOB	#7620
DATE	12/17/77
DRAWING NO.	

S-1

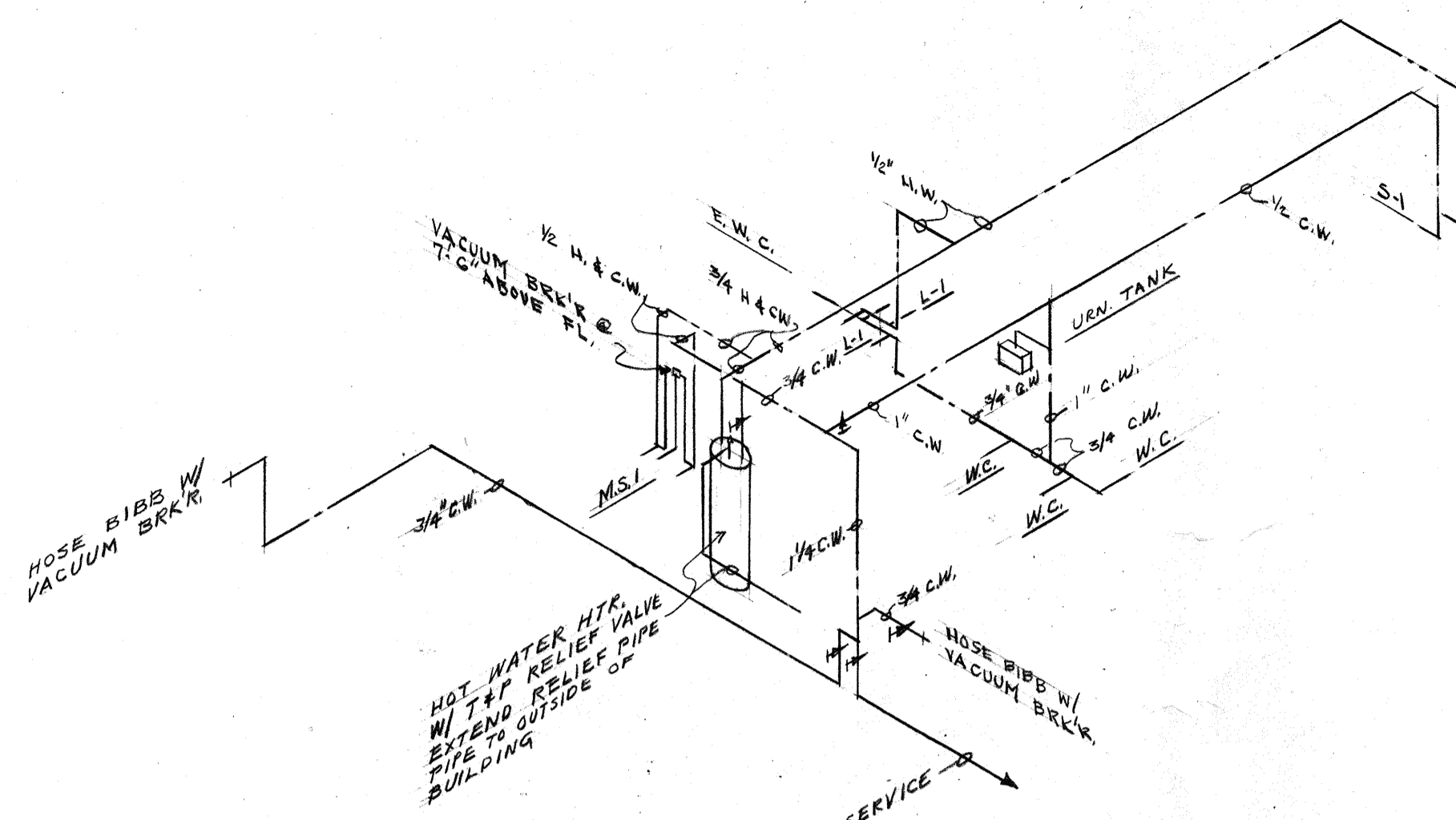


*Donald R. B. L. P. E.*

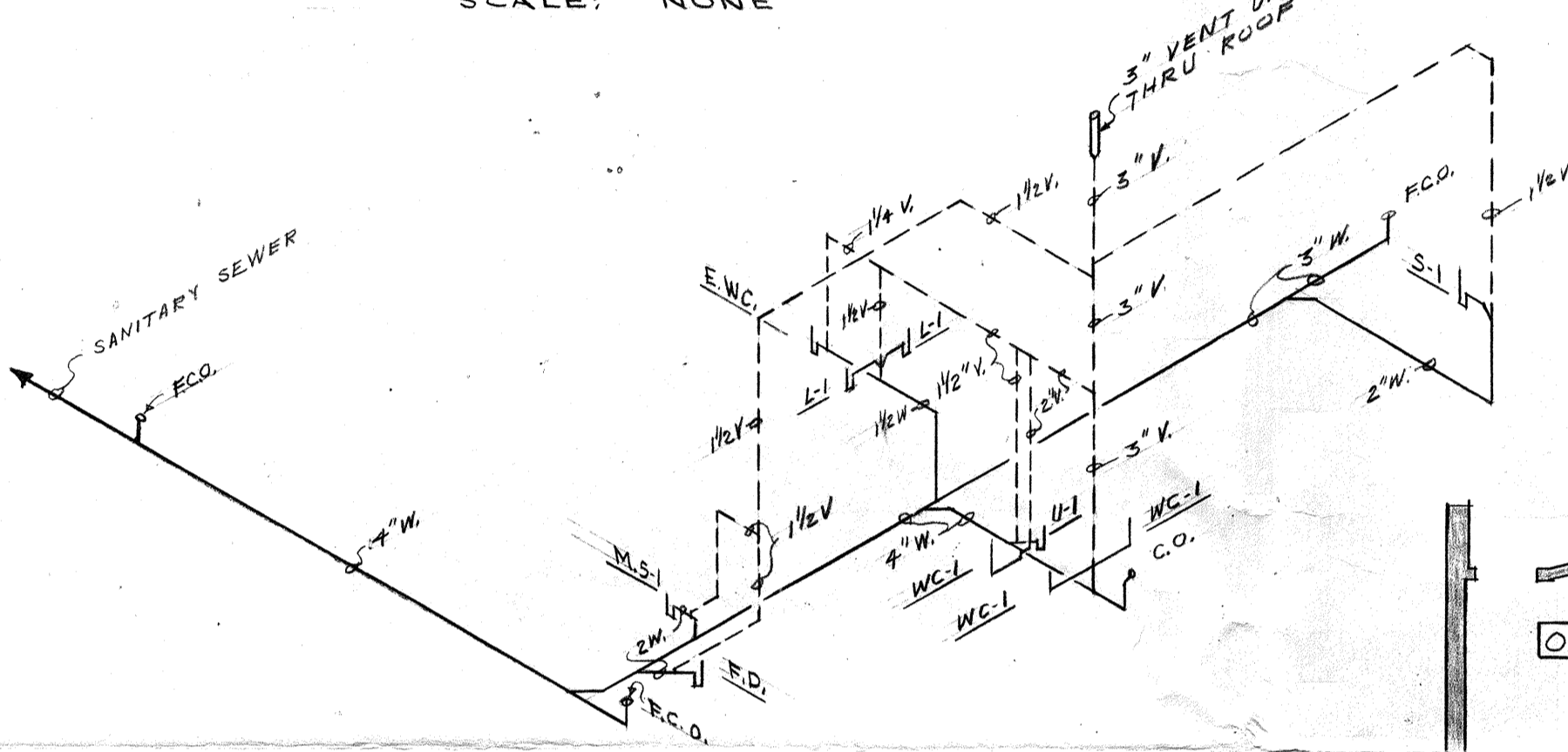


GERALD S. VANSELOW ARCHITECT  
 N.C.A.L.B. REGISTRATION NO. C-8207  
 CALIFORNIA REGISTRATION NO. C-8207  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 3512 W. NORTH AVE. MILWAUKEE, WISC. 53208

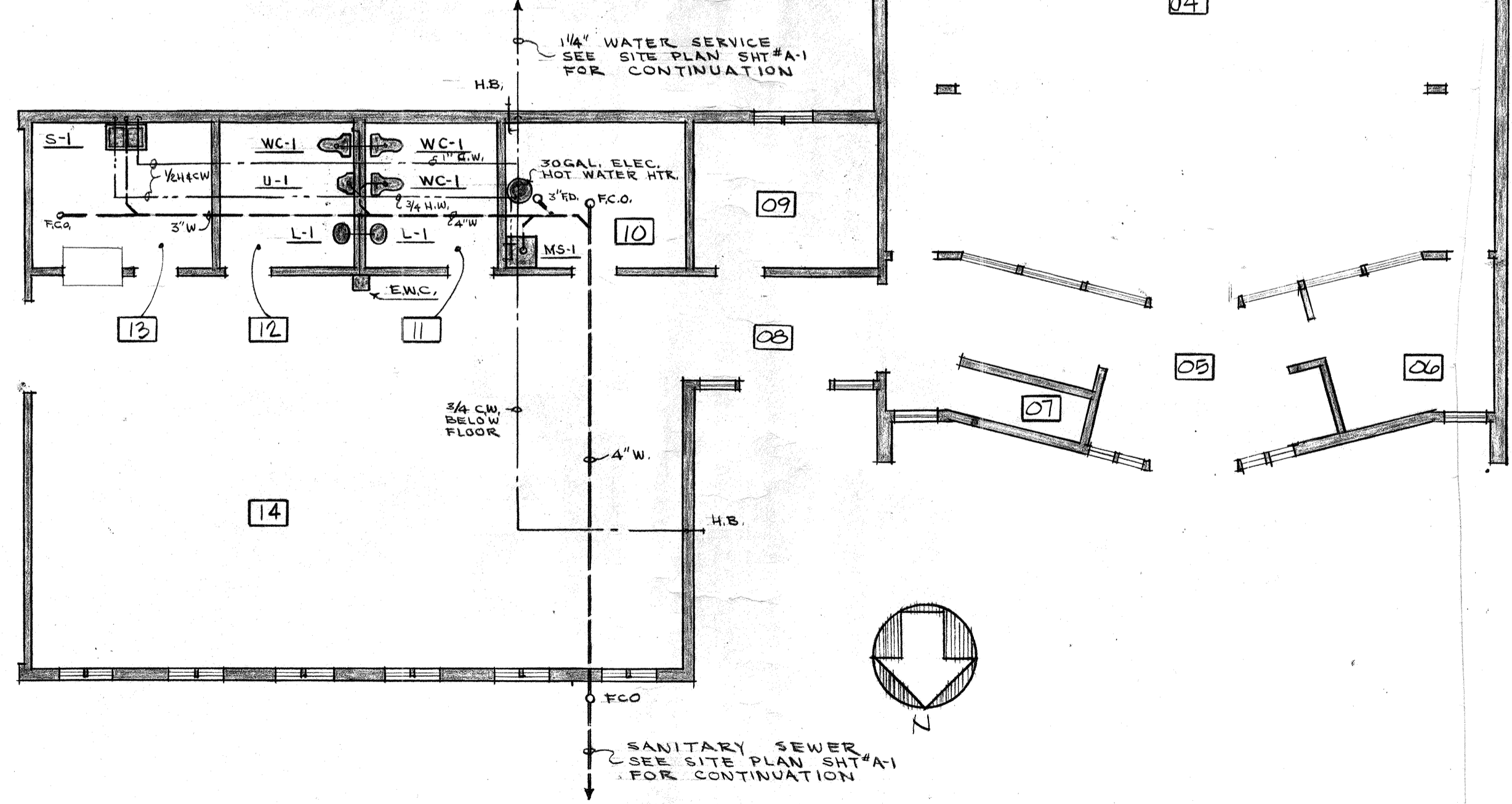
A NEW CHURCH HOME FOR:  
 ST. STEPHEN EV. LUTHERAN CHURCH  
 1636 EAST MISSION ROAD  
 FALLBROOK, CALIFORNIA



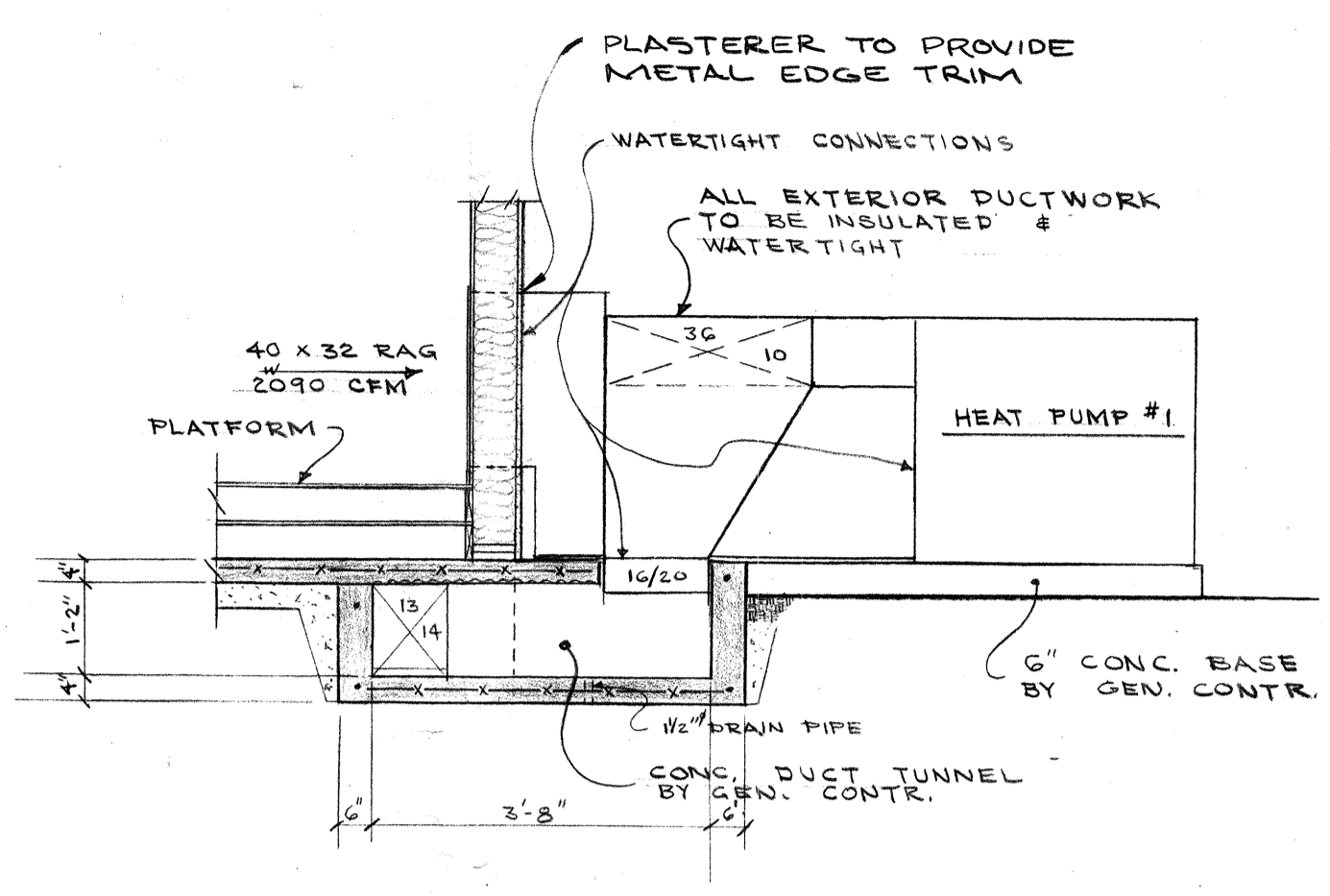
WATER PIPING RISER DIAGRAM  
 SCALE: NONE



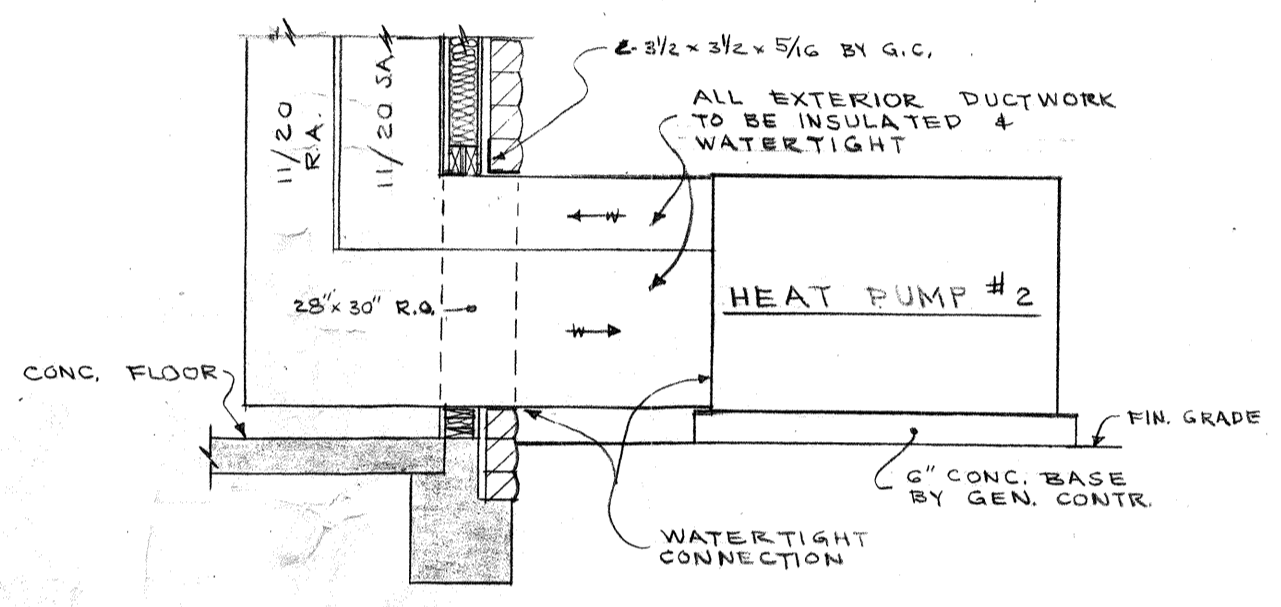
WASTE & VENT RISER DIAGRAM  
 SCALE: NONE



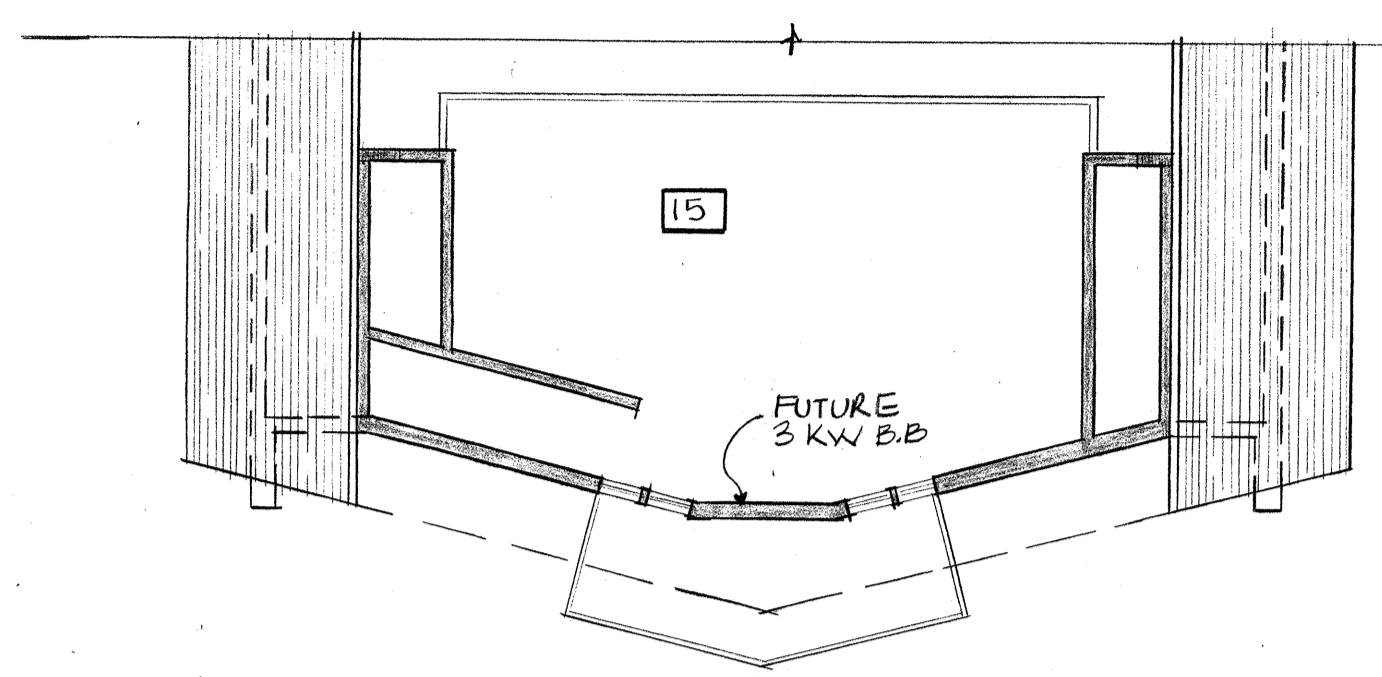
FIRST FLOOR PLUMBING PLAN  
 SCALE: 1/8" = 1'-0"



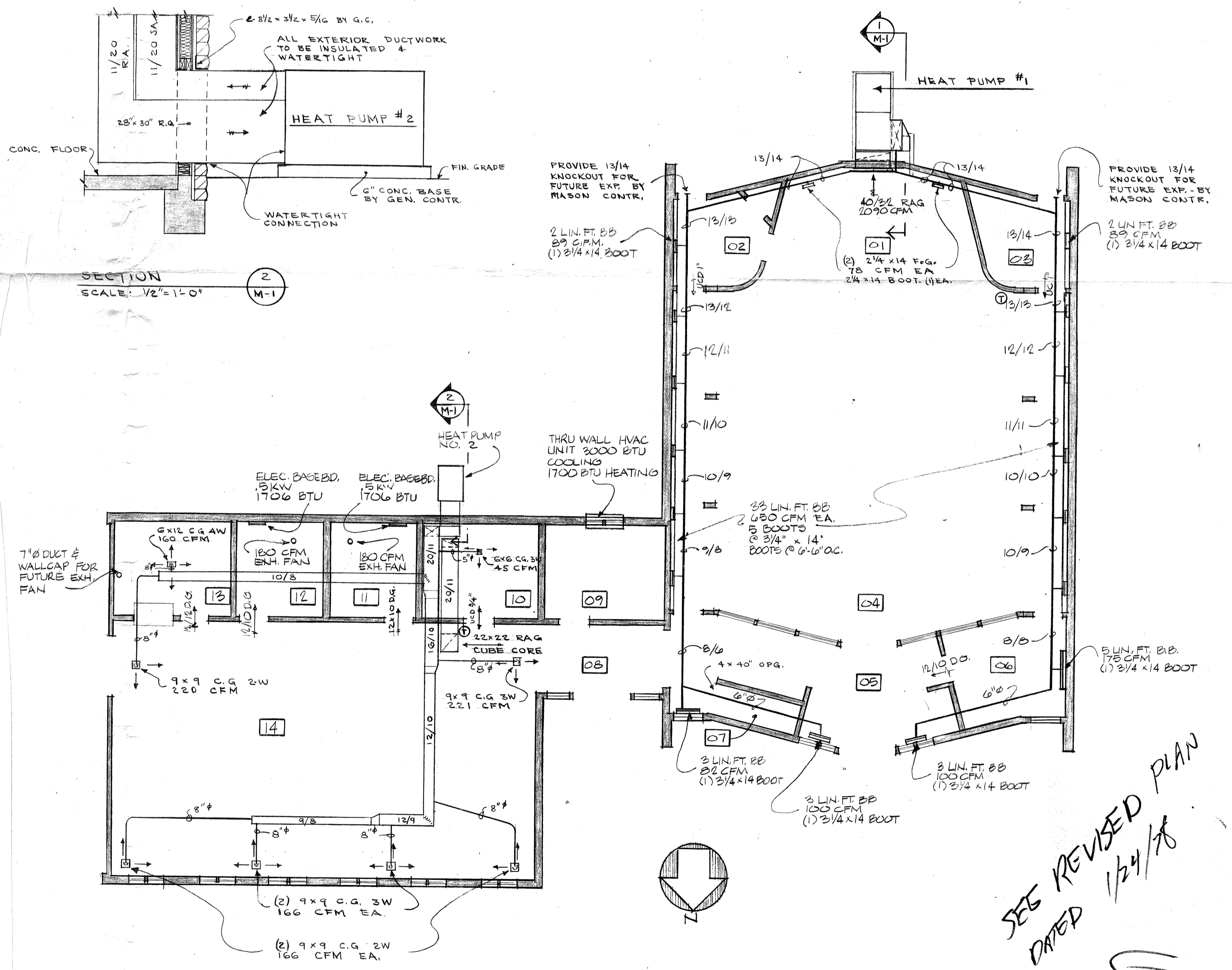
SECTION 1  
 SCALE: 1/2" = 1'-0"



SECTION 2  
 SCALE: 1/2" = 1'-0"



MEZZANINE H.V.A.C. PLAN  
 SCALE: 1/8" = 1'-0"



FIRST FLOOR H.V.A.C. PLAN  
 SCALE: 1/8" = 1'-0"

SEE REVISED PLAN  
 DATED 1/24/78

Gerald S. Vanselow  
 C-8207

JOB NO.	71620
DATE	12/19/77
DRAWING NO.	M-1

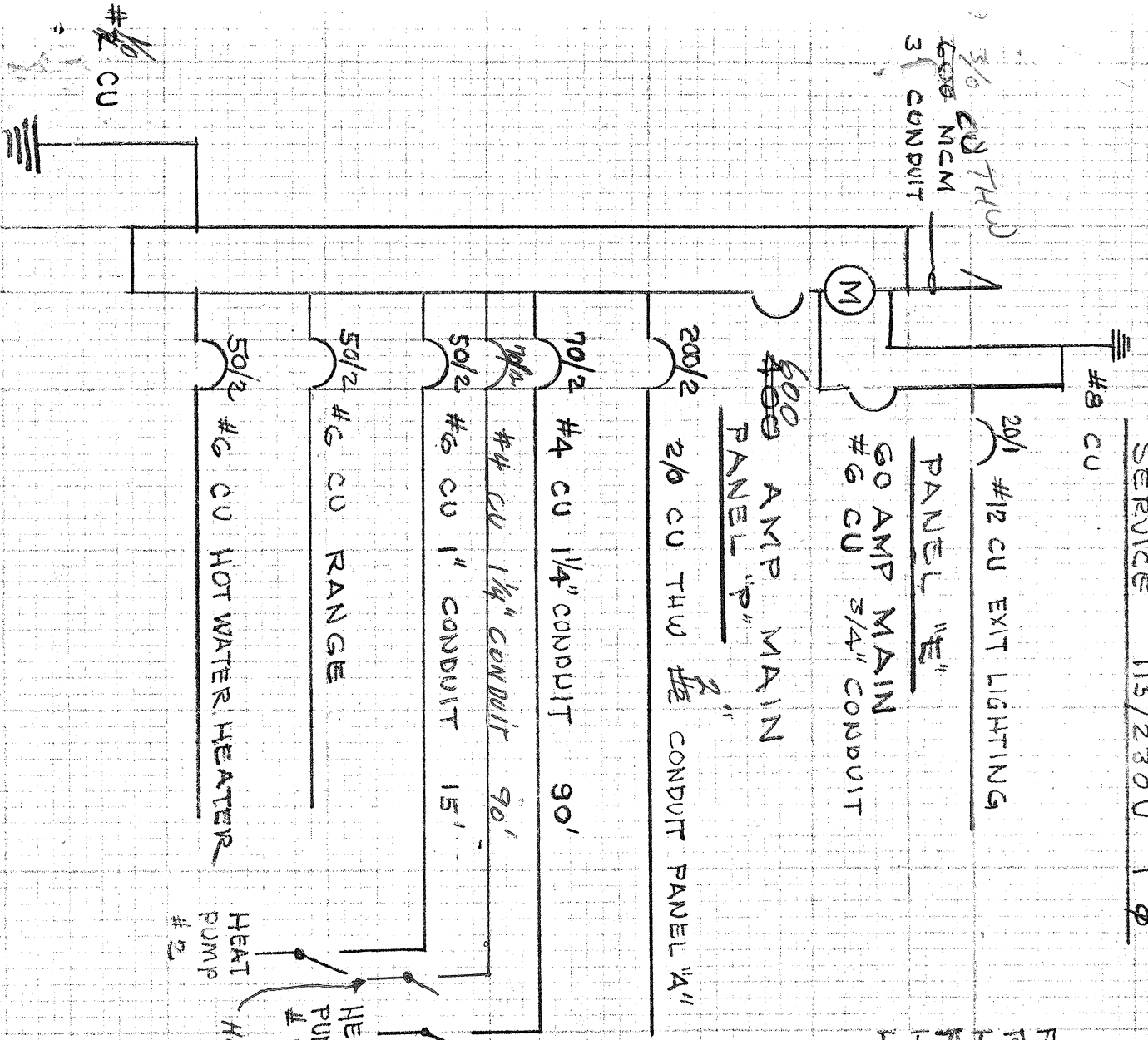
SERVICE 115/230V 1  $\phi$

LOAD CALCULATIONS  
ART 220 TABLE 220-11

PANEL "A" (SEE SCHEDULE) 42,780 WATTS  
 RANGE 10,000  
 HOT WATER HEATER 10,000  
 PANEL "E" 1,000  
 HEAT PUMP #1 11,000  
 HEAT PUMP #2 7,400

TOTAL WATTS 82,180  
 VOLTAGE 230

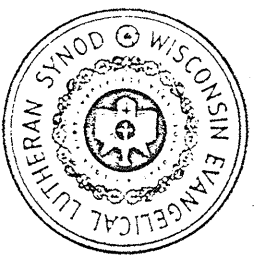
TOTAL AMPS = 357 AMPS  
 HP #3 48  
 405 AMPS



**ELECTRICAL**  
 42,000 A/C  
 BY [Signature] DATE 2-21-78

NOTE: ALL CIRCUITS TO BE #12 CU  
#4 CU GROUND

VOLTS: 120/230  
MOUNTING SURFACE  
PANELS "A"  
LOCATION: MECH. EQ. RM.  
MAIN: 200A  
FEEDS: 2/0 CU ORAL.



GENERAL BOARD FOR HOME MISSIONS  
WISCONSIN EVANGELICAL LUTHERAN SYNOD  
100 NORTH AVE  
MILWAUKEE, WISCONSIN 53208

SHEET NO. \_\_\_\_\_  
JOB # 7620  
DATE \_\_\_\_\_

LOAD	WATTS		0 FT	0 FT	0 FT	BKR	1 FT	2 FT	BKR	0 FT	0 FT	0 FT	0 FT	WATTS		LOAD
	ΦA	ΦB												ΦA	ΦB	
KITCHEN, TLT. ③ ④	1540	-	X	X	X	20	1	2	20	-	-	-	-	1080	-	6 Φs
FELLOWSHIP	-	1200	X	-	-	20	3	4	Δ	-	-	-	-	-	1000	3 Φs
FELLOWSHIP	1200	-	X	-	-	20	5	6	-	-	-	-	-	750	-	1 Φ KITCHEN
PASTORS, HALL, MOTHERS RM, SAC, VEST.	-	1400	X	-	-	20	7	8	-	-	-	-	-	-	1500	2 Φ "
NARTHEX, FUT. STAIRS	1500	-	X	-	-	20	9	10	-	-	-	-	-	600	-	Φ REFRIG.
NAVE	-	1500	X	-	-	20	11	12	-	-	-	-	-	-	600	Φs E.W.C. & CLOCK
"	1800	-	X	-	-	-	13	14	-	-	-	-	-	1260	-	7 Φs
"	-	1000	X	-	-	-	15	16	-	-	-	-	-	-	1260	7 Φs
"	1500	-	X	-	-	-	17	18	Δ	-	-	-	-	1540	-	8 Φs
"	-	1500	X	-	-	Δ	19	20	20	-	-	-	-	-	600	ORGAN
CHANCEL SPOTS	900	-	X	-	-	20	21	22	SPACE	X	-	-	-	2000	-	FUT. ④
FUT. CHANDELIER'S	-	1200	X	-	-	SPACE	23	24	SPACE	X	-	-	-	-	2000	FUT. ④
"	1200	-	X	-	-	Δ	25	26	20	X	-	-	-	1750	-	THRU WALL HVAC ③
"	-	1200	X	-	-	-	27	28	Δ	X	-	-	-	-	1750	" "
"	1200	-	X	-	-	-	29	30	SPACE	-	-	-	-	-	-	" "
"	-	1200	X	-	-	Δ	31	32	-	-	-	-	-	-	-	" "
EXTERIOR	-	1350	X	-	-	20	35	36	-	-	-	-	-	-	-	-
EXTERIOR	1200	-	X	-	-	20	37	38	-	-	-	-	-	-	-	-
PARKING LOT	-	600	X	-	-	20	39	40	-	-	-	-	-	-	-	-
WATTS/PHASE	12,940	12,150				SPARE	41	42	Δ					8980	8710	WATTS/PHASE
TOTAL	WATTS - ΦA - 21,920 + ΦB - 20,860 = 42,780															

**ELECTRICAL**

BY: *[Signature]* DATE: 2-21-78

Sec. 51.229 (3305(k)). Section 3305(k) of the Uniform Building Code is hereby revised to read as follows:

(k) Exterior Stairway Protection. All openings in the exterior walls of a building, below or within 10 feet, measured horizontally, of an exterior exit stairway shall be protected by a self-closing, or automatically-closing fire assembly, having a 3/4 hour fire-resistive rating.

- EXCEPTIONS:
1. Protected openings shall not be required adjacent to stairways in which the distance from the top of the stairway to the bottom of the stairway does not exceed 16 feet in vertical projection.
  2. Openings may be unprotected when two separate exterior stairways serve an exterior exit balcony.

Sec. 51.230 (3312(b)). Section 3312(b) of the Uniform Building Code is hereby revised to read as follows:

(b) Exit Signs. Any sign required by this Code shall be a noncombustible, internally illuminated sign. The word "exit" shall be lettered in green on a white or opaque background, and the letters shall be at least six inches in height with the principal strokes of the letters 3/4 inch in width.

At every required exit doorway, and wherever otherwise required to clearly indicate the direction of egress, an exit sign shall be provided for all areas serving the occupant load specified in this subsection. In interior stairways, the floor level leading directly to the exterior shall be clearly indicated.

1. Group A occupancies and Group B, D, and H occupancies with an occupancy load of more than 50.
2. All other occupancies serving an occupancy load of more than 100.

EXCEPTION: Main exterior exit doors which obviously and clearly are identifiable as exits need not be sign-posted when approved by the Building Official.

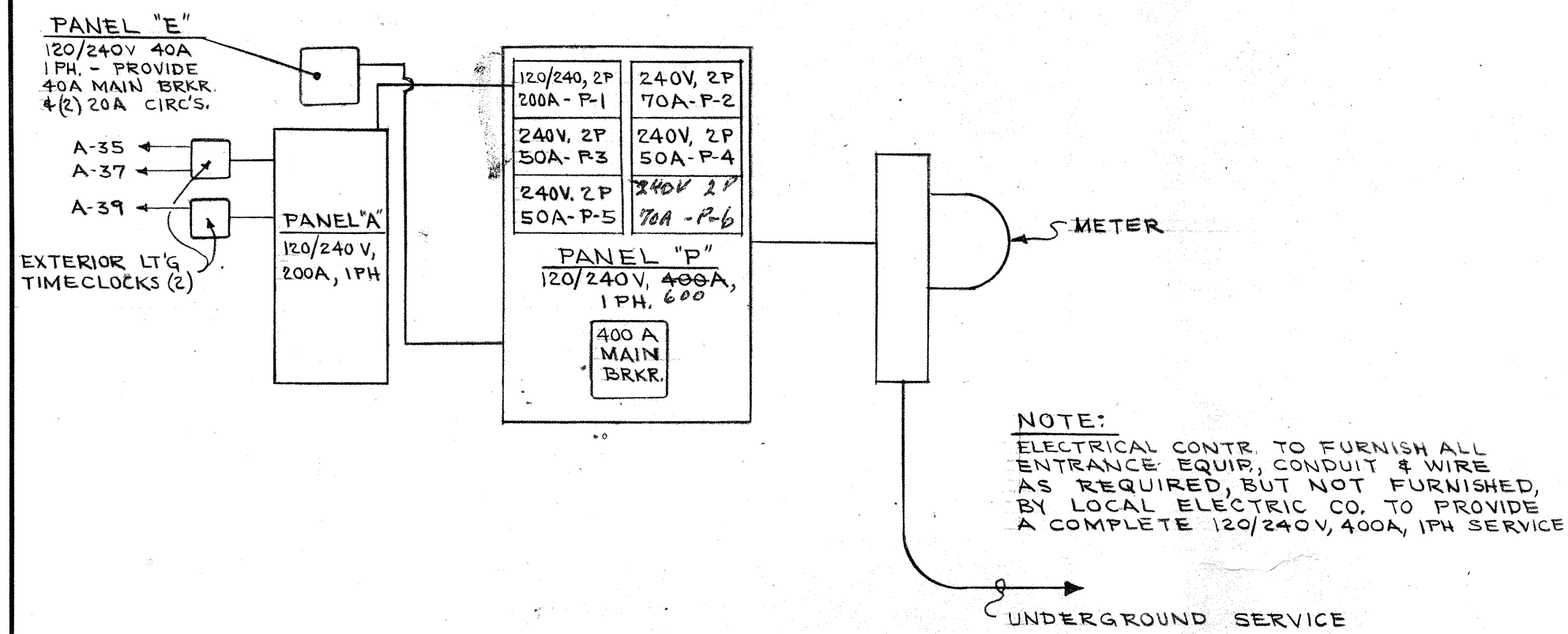
Sec. 51.231 (3312(c)). Section 3312(c) of the Uniform Building Code is hereby revised to read as follows:

(c) Illumination of Signs. Exit signs shall be lighted with two electric lamps producing illumination of not less than 140-lumens each. Separate circuits, one of which shall be separated from all other circuits in the building and independently controlled shall be provided.

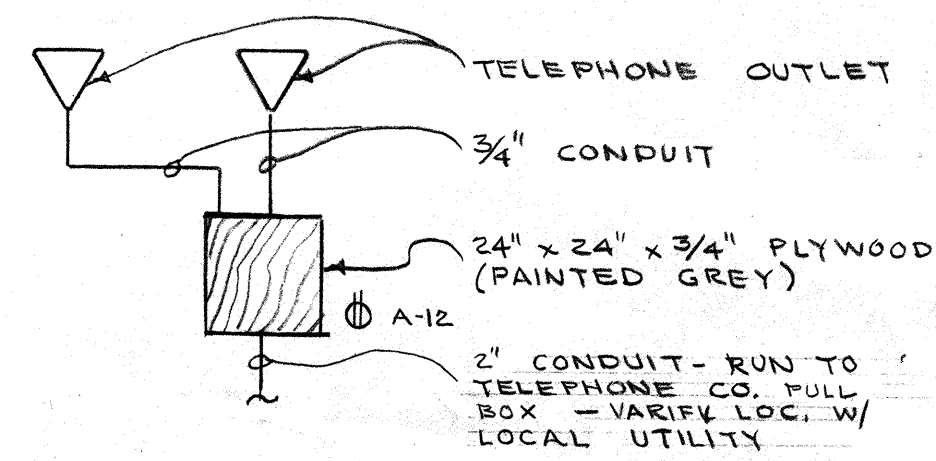
Two separate sources of supply shall be provided for the following occupancies:

- A. Group A occupancies.
- B. Division 1 and 2 of Group B occupancies with an occupant load over 500 persons except churches with an occupant load of less than 750 persons.
- C. Group D occupancies with an occupant load over 100 persons.





SERVICE RISER DIAGRAM - 120/240V, 400A, 1PH.  
NO SCALE

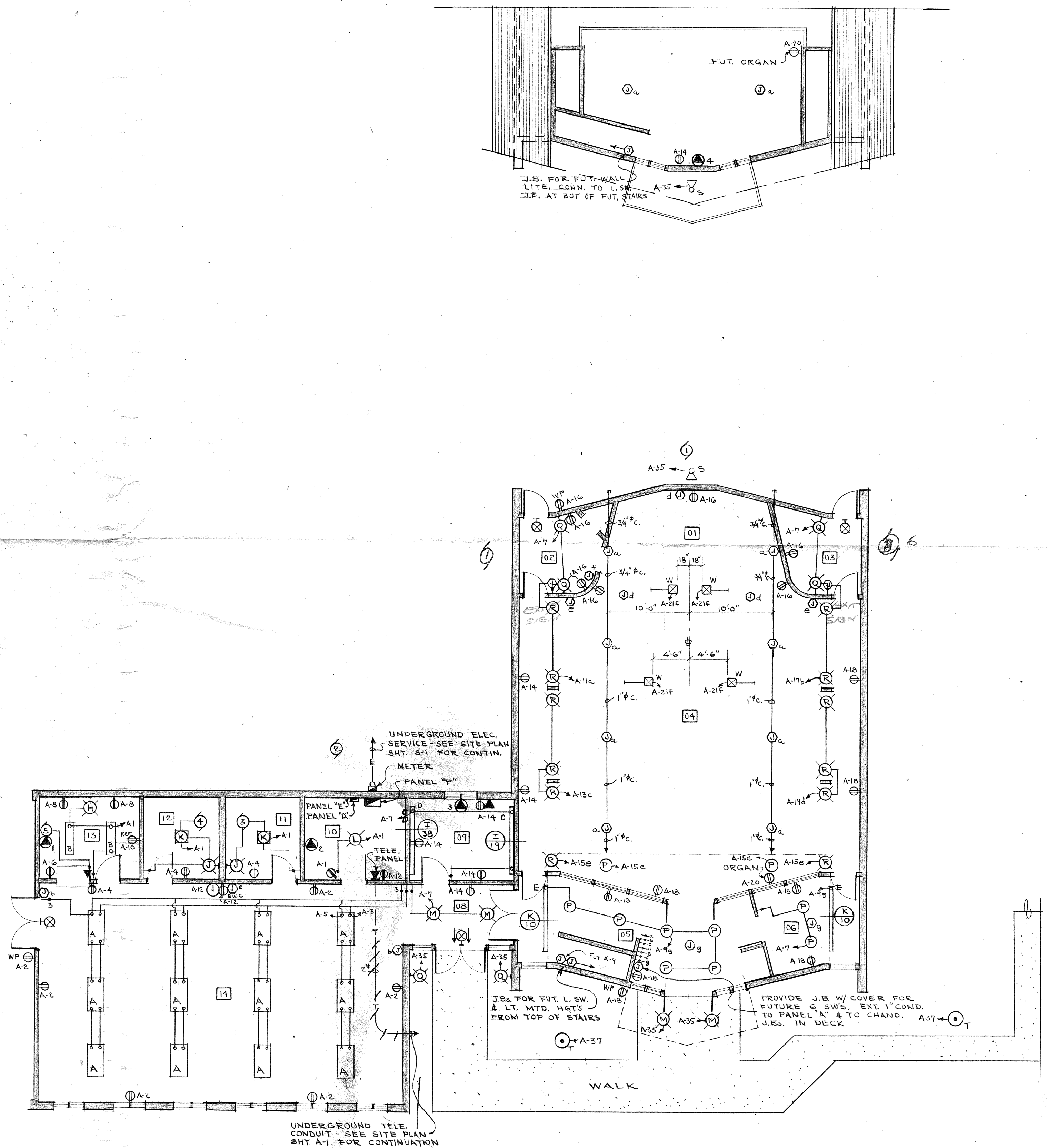


TELEPHONE RISER DIAGRAM  
NO SCALE

MOTOR SCHEDULE								
MOTOR NO.	DESCRIPTION	LOCATION	H.P.	F.L.A. VOLTS	PH.	BREAKER CIRC. AMP	REMARKS	
1	HP #1	EXTERIOR	5/16	48	230	1 P-2	70	
2	HP #2	EXTERIOR	3/16	32	230	1 P-3	50	
3	EXH. FAN	W. TOIL. RM.	1/25	115	1	A-1	20	INTERLOCK W/ L.S.W.
4	EXH. FAN	M. TOIL. RM.	1/25	110	1	A-1	20	INTERLOCK W/ L.S.W.
5	RANGE HOOD	KITCHEN	1/2	110	1	A-1	20	PROVIDE CONDUIT & J.B.S. ONLY
6	HP #3	EXTERIOR	5/16	48	230	1 P-6	70	

SPECIAL OUTLETS								
OUTLET NO.	DESCRIPTION	LOCATION	K.W.	VOLTS	PH.	BREAKER CIRC. AMP	REMARKS	
1	RANGE	KITCHEN	10	230	1	P-4	50	
2	HOT WATER HTR.	MECH. EQUIP.	10	230	1	P-5	50	
3	THRU WALL HVAC	PASTORS OFF.	3.5	230	1	A-24, 28	20	
4	ELEC. CAB. HTR.	MEZZANINE	4	230	1	A-22, 24	20	FUT. PROVIDE J.B. & COND. ONLY.


ELECTRICAL SYMBOLS			
	FLOURESCENT LIGHT FIXTURE		MOTOR OUTLET
	INCANDESCENT LIGHT FIXTURE, RECESSED		SPECIAL OUTLET
	INCANDESCENT LIGHT FIXTURE, SURFACE		TELEPHONE OUTLET - PROVIDE 3/4" CONDUIT TO TELEPHONE PANEL
	INCANDESCENT LIGHT FIXTURE, WALL		TELEPHONE PANEL
	POLE MOUNTED WALK LIGHT		ELECTRICAL SWITCHGEAR
	SPOTLIGHT		PROVIDE JUNCTION BOX IN DECK FOR FUTURE CHANDELIERS, SEE DETAIL DMK-50
	EXIT LIGHT		PROVIDE JUNCTION BOX & CONDUIT TO CEILING FOR FUTURE FIRE ALARM PULL BOX 4"x2"
	DUPLEX RECEPTACLE - COUNTER HEIGHT		PROVIDE JUNCTION BOX & CONDUIT TO CEILING FOR FUTURE FIRE ALARM - 75"
	DUPLEX RECEPTACLE - WALL		PROVIDE JUNCTION BOX IN FLOOR FOR FUTURE MICROPHONE
	DUPLEX RECEPTACLE - FLOOR		PROVIDE JUNCTION BOX @ 7'0" OFF FLOOR FOR FUTURE SPEAKER
	SINGLE POLE SWITCH		PROVIDE JUNCTION BOX @ 8'0" OFF FLOOR FOR FUTURE SOUND SYSTEM CONTROL - PROVIDE 3/4" CONDUIT TO J.B.S. @ 8'0"
	THREE WAY SWITCH		PROVIDE JUNCTION BOX IN CEILING FOR FUTURE SPEAKER
	LIGHT SWITCH PANEL - PROVIDE LETTERED COVER		CLOCK OUTLET @ 7'6" OFF FLOOR
	TRACK LIGHT		W.P. WEATHERPROOF



FLOOR PLAN - ELECTRICAL  
SCALE: 1/8" = 1'-0"

NOTE:  
• INSTALL (2) FIXTURES TYPE "V" AT SIGN - CIRC. A-35  
• INSTALL (5) FIXTURES TYPE "U" IN PARKING LOT - CIRC. A-39  
• SEE SITE PLAN SHT. A-1 FOR ABOVE FIXTURE LOCATIONS

Gerald S. Vanselow  
C-8207

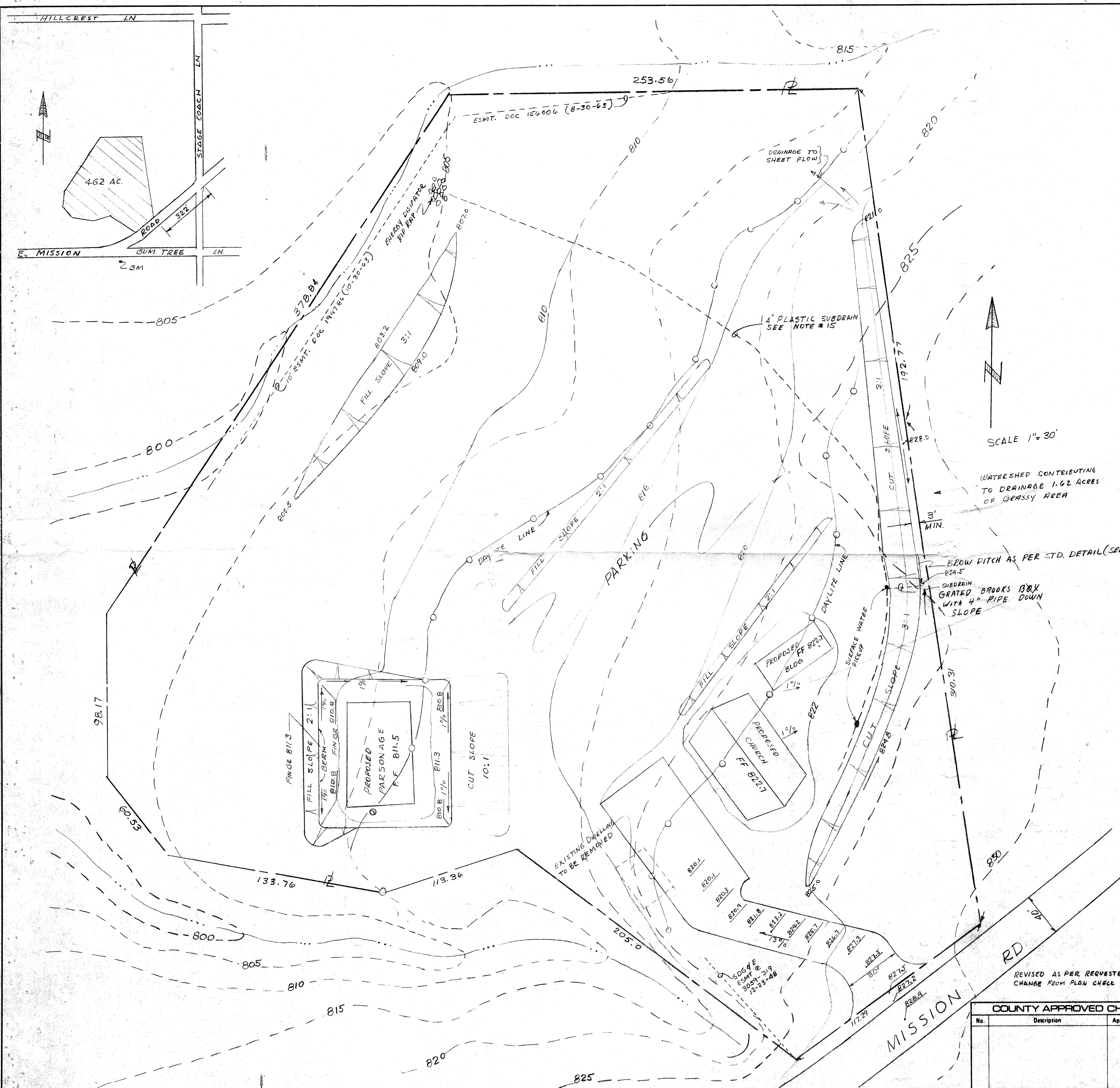
  
 BUILDING FOR CHRIST

ARCHITECT: GERALD S. VANSELOW  
 REGISTRATION NO. 8084  
 CALIFORNIA REGISTRATION NO. C-807  
 GENERAL BOARD FOR HOME MISSIONS  
 WISCONSIN EVANGELICAL LUTHERAN SYNOD  
 3512 W. NORTH AVE., MILWAUKEE, WISC. 53208

A NEW CHURCH HOME FOR:  
**ST. STEPHEN EV. LUTHERAN CHURCH**  
 16916 EAST MISSION ROAD  
 FALLERCOOL, CALIFORNIA

ELECTRICAL PLAN

JOB #	# 7620
DATE	12/19/77
DRAWING NO.	E-1



**LEGEND**

CUT SLOPE  $\frac{1}{1.5:1}$   $\frac{1}{2:1}$   $\frac{1}{1:1}$

FILL SLOPE  $\frac{1}{2:1}$   $\frac{1}{1:1}$

EXISTING CONTOURS  $\text{---}$

FINISH CONTOURS  $\text{---}$

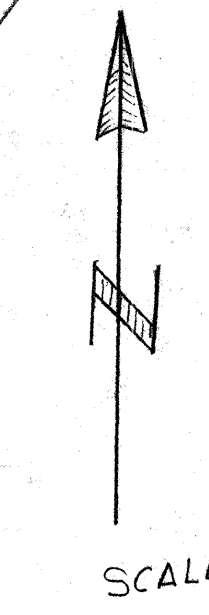
DRAINAGE SWALE  $\text{---}$  1%

PROPERTY LINE  $\text{---}$

DAYLITE LINE  $\text{---}$

**LEGAL DESCRIPTION:**  
 ALL THAT PORTION OF THE SOUTH 1/2 OF THE SE 1/4  
 OF THE SE 1/4 OF SECT. 18 T9S R3W S8M  
 IN THE COUNTY OF SAN DIEGO STATE OF CALIF

- GENERAL NOTES:**
- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
  - FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
  - IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
  - A CONSTRUCTION, EXCAVATION OR ENCROACHMENT PERMIT FROM THE DIRECTOR OF TRANSPORTATION WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
  - ALL SLOPES OVER 3 FEET IN HEIGHT WILL BE PLANTED IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS.
  - THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:  
 SAN DIEGO GAS & ELECTRIC  
 PACIFIC TELEPHONE  
 CATV  
 SEWER  
 WATER
  - A SOILS REPORT MAY BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
  - APPROVAL OF THESE PLANS BY THE DIRECTOR OF TRANSPORTATION DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
  - THE DIRECTOR OF TRANSPORTATION'S APPROVAL OF THESE PLANS DOES NOT CONSTITUTE OFFICIAL APPROVAL OF ANY FOUNDATIONS FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED (SECTIONS 87403 & 87410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF LUR.
  - ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m., EACH DAY, MONDAY THROUGH SATURDAY, AND NO EARTHMOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
  - ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ADJUTING CUT OR FILL SURFACES.
  - NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO THE ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
  - SLOPE RATIOS:**  
 CUT - 1 1/2:1 FOR MINOR SLOPES; 2:1 FOR MAJOR SLOPES  
 FILL - 2:1 Slopes Deviating From The Above Will Require Approval Of The Director Of Transportation After Review Of A Report From A Soils Engineer.  
 EXCAVATION: 3850 C.Y. FILL: 3850 C.Y.  
 WASTE/IMPORT: 0 C.Y. A Separate Permit Must Be Obtained For Waste Or Import Area.  
 SPECIAL CONDITION: IF ANY ARCHAEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF TRANSPORTATION OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF TRANSPORTATION TO DO SO.  
 ALL GRADING DETAILS WILL BE IN ACCORDANCE WITH SAN DIEGO COUNTY STANDARD DWG DS-8 DS-10, DS-11, D-75  
 PROVIDE 4" CORRUGATED PLASTIC DRAIN PIPE TO DRAIN SURFACE & SUBSURFACE WATER. PIPE SHALL BE PERFORATED ALONG THE CUT SLOPE & LAID IN 18" WIDE CRUSHED ROCK BED, THEN UNPERFORATED TO DRAINAGE COARSE. TRADE NAME (DRAIN GUARD)



SCALE 1"=30'

WATERSHED CONTRIBUTING TO DRAINAGE 1.62 ACRES OF GRASSY AREA

PERMITTEES NAME: ST. STEPHAN EV. LUTHERAN CHURCH (G.J. CLASEN)  
 ADDRESS: 2125 RECHE RD. FALLBROOK CA.  
 TELE: 714-728 7955

OWNER - SAME

ENGINEER'S NAME: A.R. BARRY  
 ADDRESS: PO BOX 348 ENCINITAS CA.  
 TELE: 714-436 8961

REVISED AS PER REQUESTED CHANGE FROM PLAN CHECK 10-3-77 QRB

COUNTY APPROVED CHANGES			
No.	Description	Approved by	Date

PERMITS	
REZONE PERMIT NO.	
SPECIAL USE PERMIT NO.	P76-141
TENTATIVE MAP NO.	

BENCH MARK	
DESCRIPTION	STD BRASS DISC & CONC. MONUMENT NO. 0.0063 (USGS)
LOCATION	INTERSECTION GUMTREE LN & MISSION RD FALLBROOK CA.
RECORD FROM:	
ELEVATION:	835.247 DATUM: MSL

L-8409

PRIVATE CONTRACT		
SHEET	COUNTY OF SAN DIEGO	1
1	DEPARTMENT OF TRANSPORTATION	SHEETS
GRADING PLANS FOR:		
ST STEPHEN LUTHERAN CHURCH 728-7955		
1636 E. MISSION RD. FALLBROOK		
CALIFORNIA COORDINATE INDEX 446-1701		
Approved R.J. Mesman DIRECTOR OF TRANSPORTATION	Engineer of work: A.R. Barry Lic. 27683	
By: John R. Conroy 10/07/1977	Grading Permit No. L-8409	

ENGINEER'S NAME: A.R. BARRY  
 PHONE NO. 714-436 8961

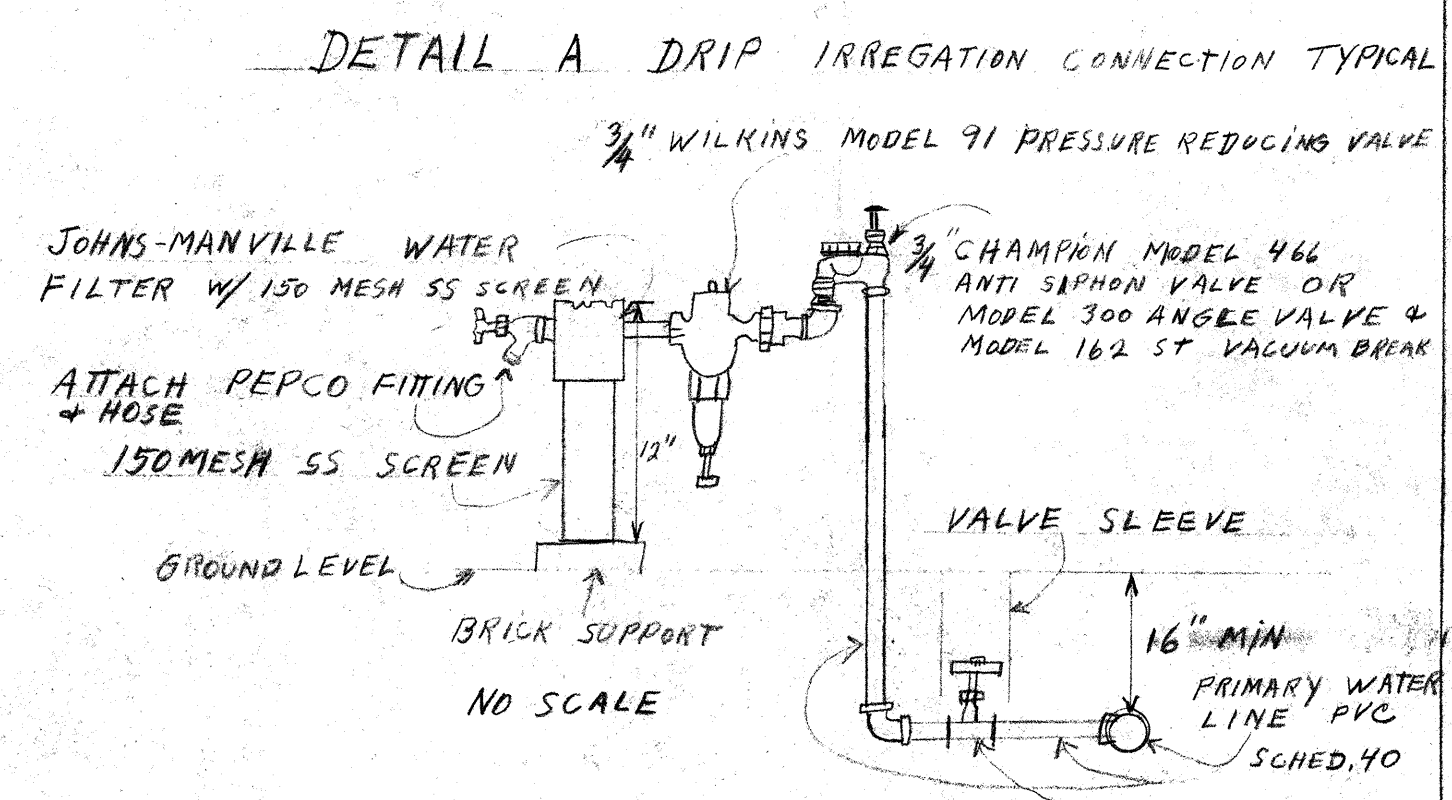
FILE NO.

LEGAL DESCRIPTION  
 ALL THAT PORTION OF THE SOUTH 1/2 OF THE SE 1/4  
 OF THE SE 1/4 OF SECT. 18 T9S R3W S8M  
 IN THE COUNTY OF SAN DIEGO STATE OF CALIFORNIA

DRAWN BY G.J. CLASEN  
 2125 REEHE RD  
 FALLBROOK CA. 92028  
 PHONE 728-7955  
 GEN CONT. LICENSE #74862  
 10-10-77

PLANTING SCHEDULE		
No.	SIZE	SPECIES
31	1 GAL	ACACIA LATIFOLIA (LONGIFOLIA)
9	5 GAL	PINUS RADIATA
18	1 GAL	PINUS RADIATA
2	10 GAL	COPANIA ANACARDIODES
2	5 GAL	PINUS THUNBERGIANA
35	1 GAL	CAMELLIA (SEEDLING)
4	1 GAL	PODOCARPUS MACROPHYLLUS
10	1 GAL	CLIVIA
2	5 GAL	JUNIPER TORULOSA
7	5 GAL	STRELITZIA REGINAE
6	5 GAL	CUPRESSUS SEMPERVIRENS GLAUCA
5	5 GAL	EUCALYPTUS POLYANTHEMOS
20	1 GAL	MORAEA IRIDIODES
200	1 GAL	JUNIPER PROSTRATA GREEN
5	1 GAL	JUNIPER SEA GREEN
100	FLATS	OSTEOSPERMUM
20	FLATS	DROSANTHEMUM
30	1 GAL	NERIUM OLEANDER
2	2 GAL	JACARANDA ACUTIFOLIA
2	1 GAL	PINE
6	1 GAL	EUPHORBIA PULCHERRIMA
10	1 GAL	HEDYCHUM

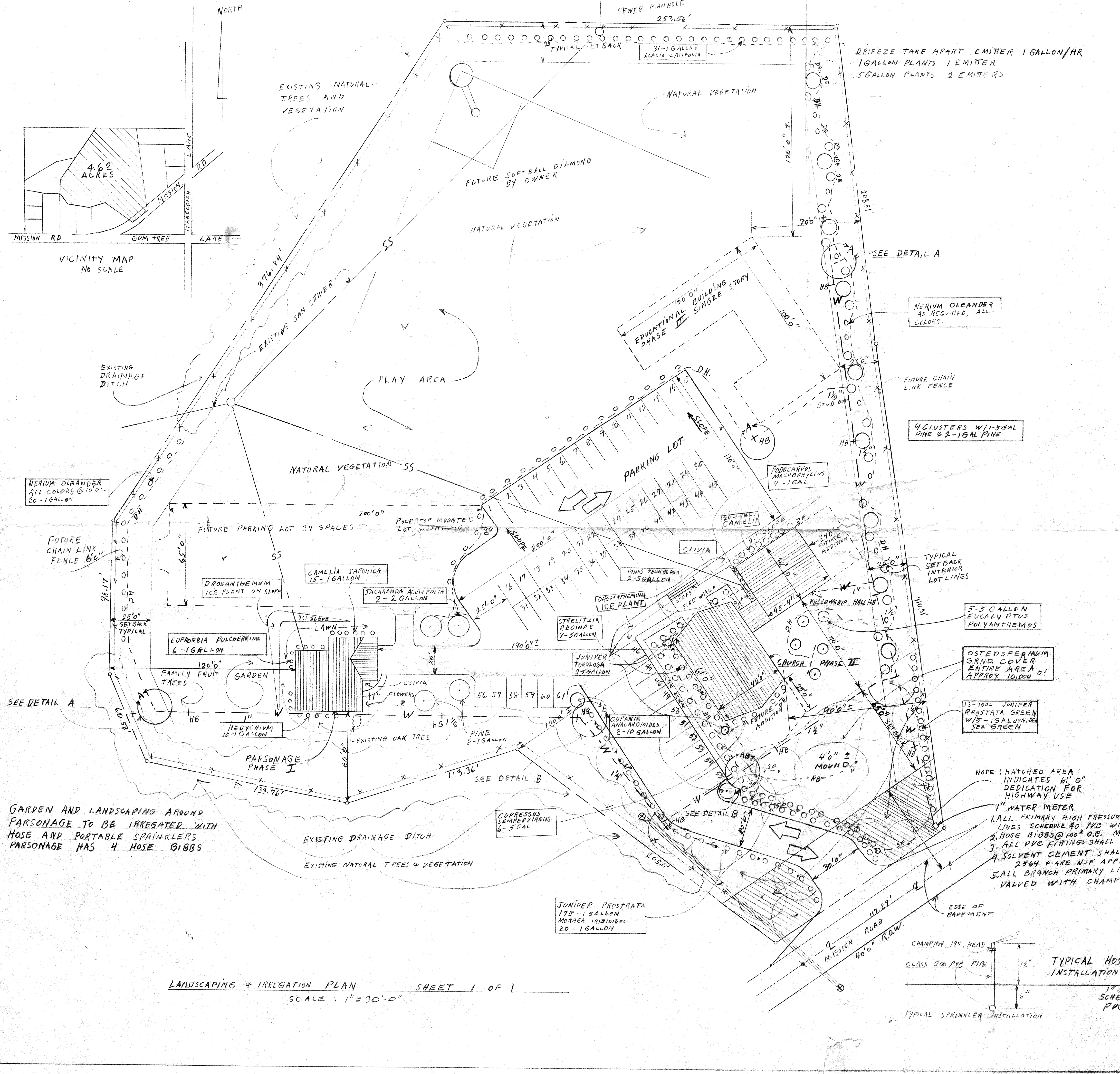
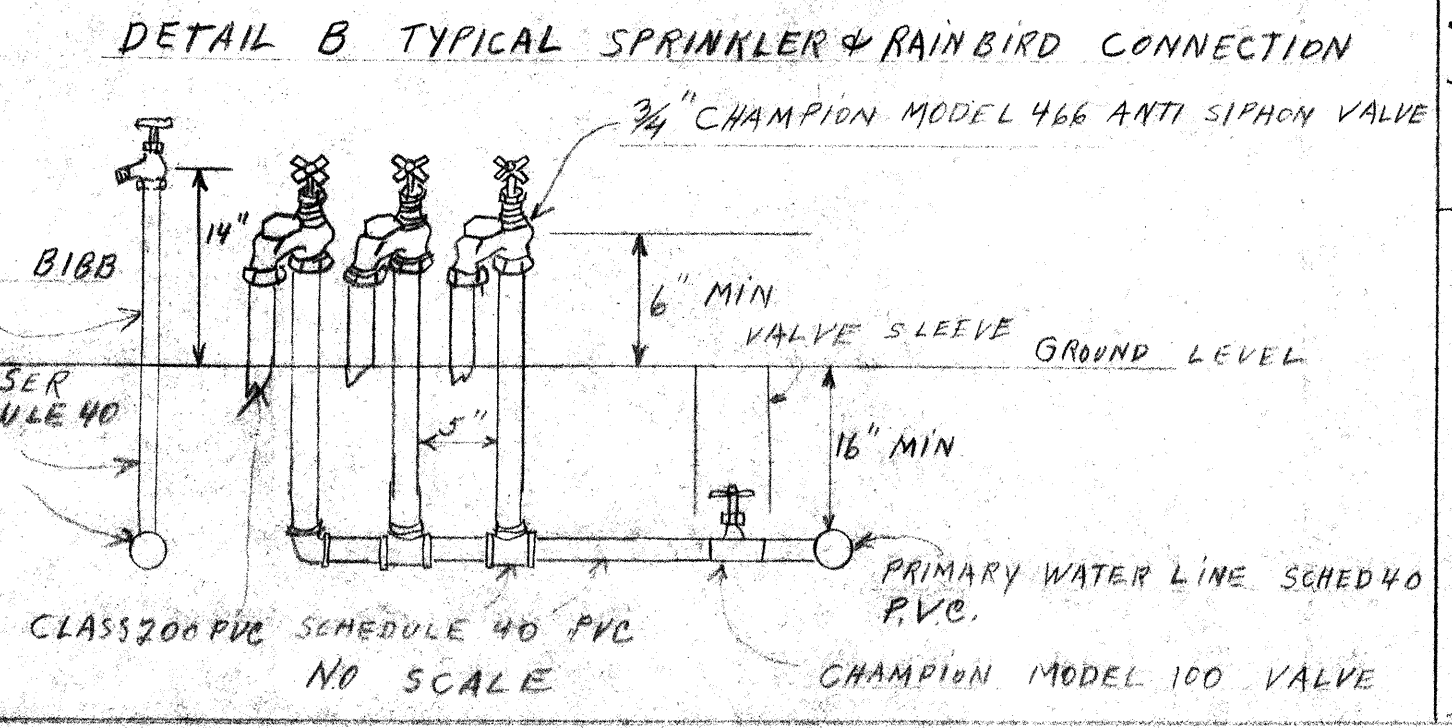
SYMBOL KEY	
---	W --- PRIMARY WATER LINES SCHEDULE 40 PVC
---	DH --- DRIP HOSE PEPCO POLYETHYLENE 1/2" P-704
---	DE --- DRIPEZE TAKE APART EMITTER 1 GALLON/HR
---	SP --- SPRINKLER LINES CLASS 200 PVC
---	RB --- RAINBIRD LINES CLASS 200 PVC
---	O.H. ELECTRIC LINES
---	PROPERTY LINES
○	EXISTING PLANTINGS
○	NEW PLANTINGS
---	FUTURE CHAIN LINK FENCE



NOTE: HATCHED AREA INDICATES 6" DEDICATION FOR HIGHWAY USE

1" WATER METER

1. ALL PRIMARY HIGH PRESSURE WATER LINES SCHEDULE 40 PVC WITH HOSE BIBBS @ 100' O.C. MAX. B-402 CHAMPION
2. HOSE BIBBS SHALL BE SCHEDULE 40
3. ALL PVC FITTINGS SHALL BE SCHEDULE 40
4. SOLVENT CEMENT SHALL MEET ASTM D 2569 + ARE NSF APPROVED
5. ALL BRANCH PRIMARY LINES SHALL BE VALVED WITH CHAMPION MODEL 100



LANDSCAPING AND IRRIGATION PLAN FOR  
 ST. STEPHEN EV. LUTHERAN CHURCH  
 SITE LOCATION: 1636 E. MISSION ROAD FALLBROOK, CA 92028  
 MAIL ADDRESS: 1168 VIA PRADO FALLBROOK, CA. 92028 PHONE 728 5449  
 CHURCH REPRESENTATIVE: G.J. CLASEN 2125 REEHE RD FALLBROOK CA 92028 PHONE 728-7955

DRAWING NO  
 Z-1  
 SHEET 1 OF 1